

AGENDA
Special Virtual Meeting
Canton Planning and Zoning Commission
Wednesday, May 5, 2021 at 7:00 pm

Link: <https://us02web.zoom.us/j/81429830686?pwd=dUhxOEJET0FGV0R3T2VhZ1owVDZpZz09>

Passcode: YA2zxh

Call In: +1 929 436 2866
Webinar ID: 814 2983 0686
Passcode: 582377

*Application materials and meeting information can be found at the following location:
<http://www.townofcantonct.org/agendas-minutes-meetings>*

CALL TO ORDER:

ROLL CALL:

READING OF THE LEGAL NOTICE:

PUBLIC HEARINGS

We encourage those looking to submit public hearing testimony, to do so in advance of the meeting to the following email: npade@TownofCantonCT.org

1. **File 475; ApIn 2000;** 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.3.a., drive-thru uses; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; Section 7.10.B.2, outdoor storage and display; and Site Plan Application: Section 4.1.B.3., restaurant classes I & II; Section 9.1.A., request to construct a 8,384 sq. ft. gas station/convenience store with restaurants and drive-thru, and 23,500 sq. ft. electronic vehicle showroom with 117 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner

REGULAR MEETING

PUBLIC HEARING ACTIONS:

1. **File 475; ApIn 2000;** 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.3.a., drive-thru uses; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; Section 7.10.B.2, outdoor storage and display; and Site Plan Application: Section 4.1.B.3., restaurant classes I & II; Section 9.1.A., request to construct a 8,384 sq. ft. gas station/convenience store with restaurants and drive-thru, and 23,500 sq. ft. electronic vehicle showroom with 117 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner

OTHER BUSINESS:

1. **Site Phasing Modification Request for File 68; ApIn 2040;** 91 and 95 Albany Turnpike; Assessor Map 32; Parcels 1010091,1011095, 1012095, 1013095, 1014095; Zone EGDVD; FBC Section 205.B.2, Type II Design Plan and Section 804.A, automobile dealers and repairers; Zoning Regulation Section 8.7, Consolidated Parcel; and Special Permits: Section 7.5.D.3, earthwork and grading over 2,000 cubic yards, and Section 7.10.B.2, outdoor storage and display; request to demolish the (2) existing buildings on the easterly side of 95 Albany Turnpike and construct a new 34,190 sq. ft. Subaru Dealership on 91 Albany Turnpike with associated parking and site improvements; 91 Albany Turnpike, LLC and Mitchell Farmington Valley, LLC, applicants; MacDonald Second Family Limited Partnership c/o Susan MacDonald; Mitchell Farmington Valley, LLC; and 91 Albany Turnpike, LLC, owners
2. Staff Report
 - a. Expiration of Current Executive Orders and Future Meeting Protocol

ADJOURNMENT:

Archived: Tuesday, May 4, 2021 2:52:09 PM
From: [Pade, Neil](#)
Sent: Tue, 4 May 2021 10:36:08
To: [Deltenre, Renee](#)
Subject: FW: Blasting Damage Letter
Importance: Normal

Please add to the file folder

Neil

From: Debbie Rindge [mailto:debbierindge@yahoo.com]
Sent: Tuesday, May 4, 2021 10:19 AM
To: Pade, Neil
Subject: Blasting Damage Letter

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Dear Mr Pade,
Please submit this letter into the records to be read at the next meeting in regard to the proposed blasting project
Many Thanks

Deborah F. Rindge

29 Depot Hill Rd Cobalt CT 06414

debbierindge@yahoo.com

860-581-3680

To The Editor,

Blasted Damages AKA Taxation without Representation Town of Canton CT

The quarry owners and construction companies that are allowed to blast rock, even under the most precisely monitored circumstances have done great damage to Connecticut properties, wells, aquifers, foundations and more. These companies are allowed to walk away without paying for damage while insurance policies they carry say claim denied blasting is not the culprit. Blasters and quarries appear to be protected by Legislators and Insurance Companies while the home and property owners seem to have no representation or voice. This all happens in what we know as The Constitution State of Connecticut. How ironic don't you think? What happened to the people's voice? Do we the people pay the salaries of these public servants? We want the damage we suffer to be paid in full. Why is it that a blasting bill that pays for damaged property never gets presented or passed? Could it be that there are certain groups who have been calling the shots? Could this be the reason why when your property is shot up by blasting you are not allowed to see the shot reports? The 68 pages within Connecticut's Blasting Regulations cover things like storage, transportation of explosives, the use of blasting agents, regulating drivers, permits, documentation, log book of fire power, number of shots fired with location time and type, on and on it goes. If regulations exist why so much damage? Why can't the property owner access a shot report? The town of Canton Connecticut is facing the very real possibility that they too could be added to the list of those of us who suffered blasting damage to our property. If the Canton blasting project is approved these property owners should be

exceedingly concerned about potential damage. We the people are highly taxed and unprotected against this destruction due to construction. Taxation without Representation is very alive and well.

Deborah F Rindge.

Archived: Monday, May 3, 2021 3:50:27 PM
From: Pade, Neil
Sent: Mon, 3 May 2021 15:33:13
To: Deltenre, Renee
Subject: 9-15 Albany - Eastern Wildway
Importance: Normal

Hi Renee –

At the January hearing there was testimony stating the trap rock ridge is within the “Eastern Wildway”. Eastern Wildway mapping can be found at the following (Eastern Wildway Version 2.2.):

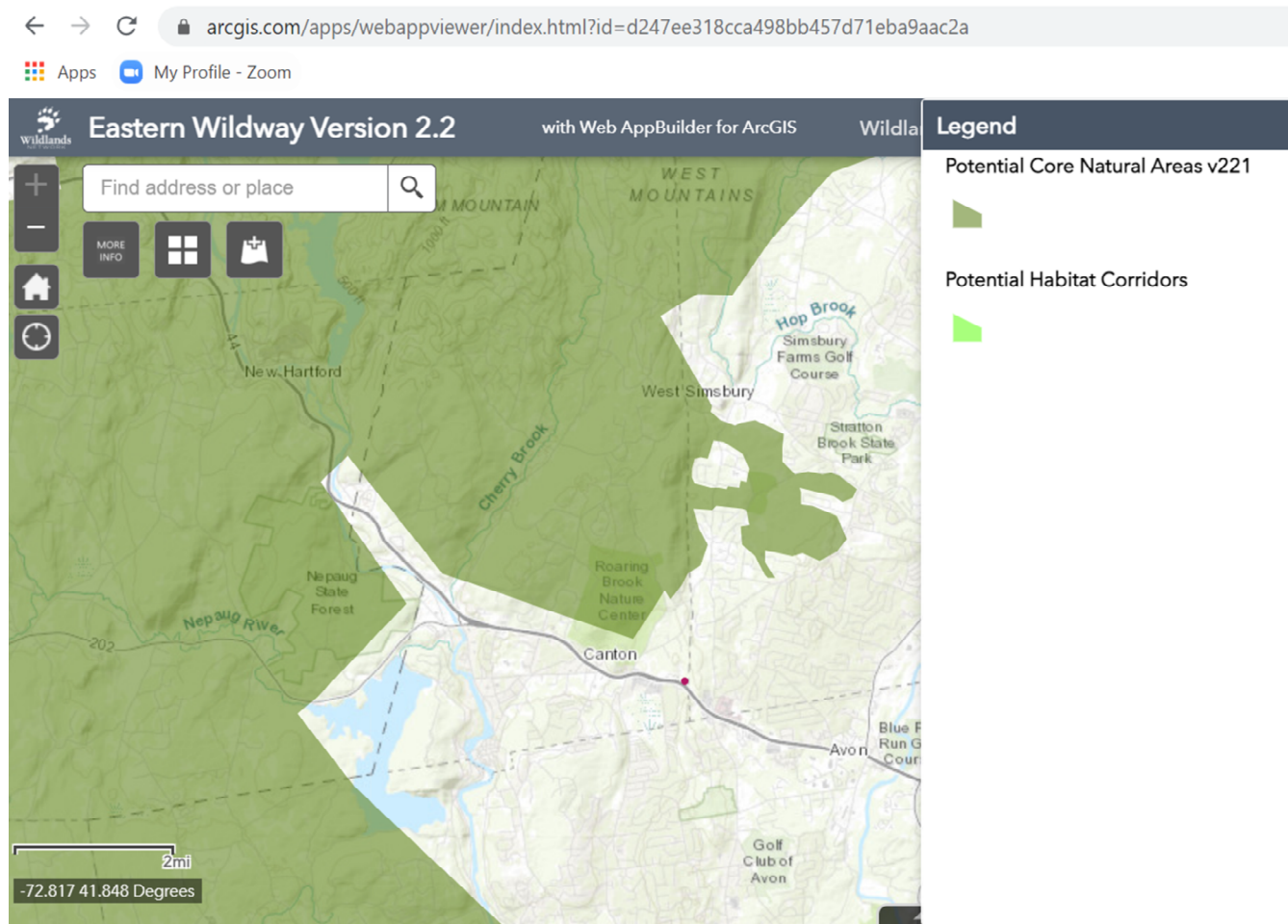
<https://www.arcgis.com/apps/webappviewer/index.html?id=d247ee318cca498bb457d71eba9aac2a>

Below is a screen clip of the Eastern Wildway mapped limits in the portion of town that contains the project area. The approximate project location has been marked with a red dot.

Please add this to the hearing record in case there is additional discussion pertaining to the Wildway.

Thank you,

Neil S. Pade AICP
Director of Planning and Community Development
Town of Canton, Connecticut
4 Market Street
PO Box 168
Collinsville, CT 06022-0168
860-693-7891 Phone
860-693-7884 Fax
npade@townofcantonct.org
www.townofcantonct.org



5/2/2021

Dear Mr. Pade,

My name is Barry Miller, I reside in the town of Canton with my family, and I am writing to express my concerns and disapproval of the proposed development of the property addressed 9-15 Albany Turnpike. My concerns are multifaceted and relate to the health of my family, the ecosystem as well as the town's identity.

As healthcare workers, my wife and I worry about the contamination of the public drinking supply, as well as the water safety of Secret Lake where eventually our children will play. It pains me to imagine the possibility that our beautiful town could be associated with a public health crisis regarding our most important natural resource, clean drinking water. While the developer claims it will not disturb the adjacent Superfund site, according to experts, the risk is not zero. Additionally, installation of underground fuel tanks large enough to supply "peak demand" of a 20-pump fuel station poses risk of further soil and water contamination.

The development would also dramatically diminish the character of the town of Canton to all of those who drive through. The attempt to "green-wash" the destruction of a geologic formation that is a town landmark and ecological asset by constructing a "electric car showroom" is short-sighted and causes damage that cannot be undone. Development of this magnitude violates the commissions commitment to community character, community health, the preservation of natural resources, and open space.

In conclusion, allowing special permits allowing this project to proceed would fail to uphold the fundamental values listed in the Plan of Conservation and Development authored by the Planning and Zoning Commission. The development proposed introduces unnecessary risk to the health of our community and ecosystem and will result in a devaluation of property in the immediate area and should not be granted any special permissions.

Sincerely,

Barry and Cindy Miller

54 Secret Lake Road,

Canton, CT 06019

Archived: Monday, May 3, 2021 11:20:35 AM
From: [Pade, Neil](#)
Sent: Mon, 3 May 2021 10:56:36
To: [Deltenre, Renee](#)
Subject: FW: The "Rock"
Importance: Normal

We have prior testimony from this organization but this is specific and different than what was previously submitted. Please add to the record.

Thank you,

Neil

From: SouthWest Homeowners Assoc. [mailto:swha@snet.net]
Sent: Sunday, May 2, 2021 12:09 AM
To: Pade, Neil; Michael Glidden; Eric Wellman; mappleby@simsbury-ct.gov; mcapiola@simsbury-ct.gov
Subject: The "Rock"

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

The two year removal of the "Rock" has a number of problems and flaws in planning for the future.

One problem is the aggravation of a "Super Fund Site" and the expansion of the plume of pollution. Since some of the toxins have already crept into the development site further work that can disrupt the soil and rock layers needs to be avoided. Since some of Secret Lake already has city water, because of the pollution from Swift, all the residences and businesses North, East, West and South should also be provided with commercial water for the next 20 years.

The showroom and service would be much better if located at the small rock which could be removed without blasting and would take much less time. The exposure to traffic would be greater since it would be more at eye level of the traffic.

A traffic problem is that both driveways need to be controlled. A traffic light at one will not stop the use of the second drive by East bound traffic. This would be impacting traffic by stopping one lane and having to cross two lanes without enough visibility of the oncoming vehicles.

An error in planning for the future is that internal combustion cars are diminishing instead of needing 20 more pump when there are 30+ within a mile of the site. Electric vehicles are increasing because Europe, China and California are switching to electric by the end of this decade. U.S. cars are also increasing the production capabilities of electric vehicles. UPS and Amazon are planning for electric vehicle because they will be more economical to operate.

The restaurant should have as many charging stations as serving stations so that customers can charge the cars while eating a meal. This would give a good 30 minutes to an hour of charging time.

If the developer was really into Green Development, as indicated in new reports, then we would not have a statement about the conversion of pumps to charging stations "not in my life time".

South West Homeowners Association

Pass this information to a neighbor to keep them aware of the activities in the South West.

Be part of our e-mail list by sending us your name, address, phone and e-mail.

Archived: Wednesday, April 28, 2021 2:10:09 PM
From: [Pade, Neil](#)
Sent: Wed, 28 Apr 2021 11:52:32
To: [Deltenre, Renee](#)
Subject: FW: May 5th meeting
Importance: Normal

Please add to the record

Neil

From: David J. Markowitz [mailto:dmarkowitz@hgesq.com]
Sent: Wednesday, April 28, 2021 11:43 AM
To: Pade, Neil; Kevin Solli; Collene Byrne; Mark Greenberg; Michael Frisbie; Rich
Subject: RE: May 5th meeting

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Neil,
I am writing to confirm that my client consents to the extension of the Public Hearing on 9-15 Albany Turnpike beyond the statutory deadline, as was discussed and recorded at the last Public Hearing. Thank you for forwarding attorney Pendell's written consent.

David J. Markowitz, Esq.
Partner
Hassett & George, P.C.
945 Hopmeadow Street
Simsbury, CT 06070

Phone: (860) 651-1333 ext. 150
Fax: (860) 651-1888
E-Mail: dmarkowitz@hgesq.com
Website: www.hgesq.com

The information being transmitted by this electronic mail is being sent by or on behalf of an attorney; it is intended for the exclusive use of the addressee named above and may constitute privileged or confidential matter, legally exempt from disclosure. If you are not the named addressee, or a- employee or agent responsible for delivering this message to the named addressee, you are not authorized to retain, read, copy or disseminate this message or any part of it. If you have received this electronic mail in error, please notify us immediately by telephone and destroy all copies of this electronic mail and any attachments.

Archived: Wednesday, April 28, 2021 2:10:38 PM
From: [Pade, Neil](#)
Sent: Wed, 28 Apr 2021 11:28:32
To: [Deltenre, Renee](#)
Subject: FW: EXTERNAL-Extension of 9-15 Albany
Importance: Normal

Please add to the record

Neil

From: Pendell, Michael J. [mailto:mpendell@motleyrice.com]
Sent: Wednesday, April 28, 2021 11:28 AM
To: Pade, Neil
Subject: Re: EXTERNAL-Extension of 9-15 Albany

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

He has not been responding to me. But this email can serve as written consent to extend the hearing beyond the statutory deadline.

Sent from my iPhone

Michael Pendell | Attorney at Law | Motley Rice LLC
One Corporate Center, [20 Church St.](#), 17th Flr | Hartford, CT 06103 | mpendell@motleyrice.com
o. [860.218.2722](tel:860.218.2722) | c. [860.841.1259](tel:860.841.1259) | f. [860.882.1682](tel:860.882.1682)

On Apr 28, 2021, at 11:25 AM, Pade, Neil <NPade@townofcantonct.org> wrote:

\u-257 ?
Hi Michael,

At the 3/17/21 meeting you agreed to send a note documenting the verbal consent to allow the current hearing to be extended beyond the statutory deadline to either myself or Attorney Slater.

You may have done this to Attorney Slater already, but I do not have a copy for the file. Can you forward me what you sent him or if you didn't send me an e-mail to that effect?

Let me know if you have any questions.

Thanks!

Neil S. Pade AICP
Director of Planning and Community Development
Town of Canton, Connecticut
4 Market Street
PO Box 168
Collinsville, CT 06022-0168
860-693-7891 Phone
860-693-7884 Fax
npade@townofcantonct.org
www.townofcantonct.org

Confidential & Privileged

Unless otherwise indicated or obvious from its nature, the information contained in this communication is attorney-client privileged and confidential information/work product. This communication is intended for the use of the individual or entity named above. If the reader of this communication is not the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error or are not sure whether it is privileged, please immediately notify us by return e-mail and destroy any copies--electronic, paper or otherwise--which you may have of this communication.



John Yulo <johnayulo@gmail.com>

Proposal for the development at 9-15 Albany Turnpike

2 messages

TOWN HALL
LAND USE OFFICE

John Yulo <johnayulo@gmail.com>
To: npade@townofcanton.org
Cc: jelatus@comcast.net

APR 27 2021

Sat, Apr 24, 2021 at 8:42 PM

Dear Mr. Pade

DATE OF RECEIPT IN OFFICE

I am writing to you to voice my concern regarding the issues that have been surfaced relative to possible contamination of nearby wells as a result of the blasting that will take place to construct the proposed development on Rte. 44. This is due to the fact that on the property above there was a chemical reprocessing company, since defunct, and is now a Superfund site.

Specifically, it appears as though the well that is used by CT. Water (Well # 5) would be impacted by the blasting. This well supplies water to my home on 112 Craigmere Circle in Avon.

Thus far, my understanding is that the response from the developer regarding the matter does not provide a firm declaration that would dispute the possibility and extent of contamination.

The Ct. Water company has raised the issue as noted in their letter to you of Nov. 9, 2020. I have written to Ct. Water to provide an update or response to that letter but I have not yet received any feedback.

I have also asked State Senator Mr. Witkos to provide his assessment of this issue but have not received a response.

My understanding that your office is the decision maker on the application that is pending for this development to proceed.

I ask for your careful consideration as the concerns go far beyond my home or street with some 40+ other nearby streets with wells that could be impacted.

To me, this is a matter of public safety and I would hope you would reach a conclusion on whether or not to allow this development to go forward with the perspective taken as if it was your water, your home, your health and the health of your family that was perhaps in jeopardy.

John Yulo

Mail Delivery Subsystem <mailer-daemon@googlemail.com>

Sun, Apr 25, 2021 at 9:07 PM

To: johnayulo@gmail.com

Mr. Pade, MY APOLOGIES AS THIS WAS NOT DELIVERABLE
THROUGH GMAIL.

John Yulo 4/25/21



Delivery incomplete

There was a temporary problem delivering your message to **npade@townofcanton.org**. Gmail will retry for 47 more hours. You'll be notified if the delivery fails permanently.

Archived: Wednesday, April 28, 2021 2:11:32 PM
From: [Pade, Neil](#)
Sent: Mon, 26 Apr 2021 12:23:04
To: [Deltenre, Renee](#)
Subject: FW: John Swift Chemical
Importance: High

Attorney Markowitz has asked for the following message to be added for 9-15 Albany

Neil

From: Taylor, Ken <ken.taylor@wsp.com>
Sent: Monday, April 26, 2021 12:01 PM
To: David J. Markowitz <dmarkowitz@hgesq.com>; Kevin Solli <Kevin@sollllc.com>; Mark Greenberg <mark@markgreenbergrealestate.com>
Cc: Collene Byrne <Collene@sollllc.com>
Subject: John Swift Chemical
Importance: High

From: Ward, Daychelle [<mailto:Daychelle.Ward@ct.gov>] **On Behalf Of** DEEP Records Center
Sent: Friday, April 23, 2021 3:29 PM
To: Sandor, Tunde <tunde.sandor@wsp.com>
Subject: RE: File Search_John Swift Chemical Comp

That is what we have for now if someone cancel.

Your appointment has been scheduled for **8/24/21** 9 :00

A few things to know prior to your visit:

- To access the building you will be required to enter the building through the 79 Elm Street employee entrance and sign in with building security in accordance with the requirements in the 79 Elm Street COVID-19 Response Procedures. Visitors are required to properly wear face coverings at all times except when viewing files at their assigned viewing desk. **ONLY ONE VISITOR IS ALLOWED IN THE BUILDING**
- Security will direct you to the basement and you can follow signage to the records center. The only areas permitted to go to on the basement floor are the rest room and your assigned viewing desk and the public copying machine in the Records Center. Please **DO NOT** travel to any floors other than the basement and 1st floor.
- All files that need to be viewed must be identified, so they may be gathered and arranged for viewing prior to the scheduled appointment. Until further notice, visitors will not be able to request additional

files during their scheduled visit. Requested files will be pre-located on a file cart adjacent to the desk where the viewing will take place.

- To obtain prepaid copier cards in order to use the public copying machine you can contact Donna Kinney, (860-424-3154) to purchase the cards remotely using a credit card which we encourage to be done **(Prior to your visit)**. Prepaid cards will be available in amounts between \$25 and \$100 and will be positioned in the records center so they are available for the visitor at the time of their scheduled viewing. Visitors who already have a prepaid card can have value added to their cards remotely using a credit card. Visitors who don't wish to purchase prepaid copying cards may use their own portable scanning or copying device. **(Scanning fee has been waived until further notice)**

Thank you

Kenneth Taylor, PG(NY), CPG
Supervising Hydrogeologist

Phone: 203 929 8555 office
Phone: 475 882 1725 direct

•
•

To: Neil Pade, AICP, Director, Town of Canton Planning & Community Development and C.A.R.E.

From: Bill Warzecha, hydrogeologist, (Retired 2019, Department of Energy & Environmental Protection

Date: April 21, 2021

RE: 9-15 Albany Tpke., Canton, CT

I have reviewed WSP's April 14th, 2021 memorandum regarding its hydrogeologic evaluation of the potential impacts of blasting and the reconfiguration of the land surface at the above captioned site. As you are aware, the site is located in proximity to the J. Swift site, a federal and state Superfund site, characterized by a long-time, solvent contamination resulting from releases at the site to the environment. That pollution resulted in the historical contamination of off-site bedrock drinking water wells, one of which may be the well that formerly served La Trattoria Restaurant adjacent to 9-15 Albany Tpke., and also has been responsible for the intrusion of harmful vapors into nearby homes requiring the installation of sub-slab ventilation systems.

I also reviewed ALTA's letter dated April 21, 2021 which identifies a number of significant shortfalls of WSP's hydrogeologic analysis and conclusion that the proposed blasting and significant site work proposed for 9-15 Albany Tpke., among other things, will not contribute to the mobilization of contaminants from the former J. Swift site, thereby not posing a threat to private or public wells unaffected to date or causing the migration of solvent vapors to other nearby residences.

Additionally, it does not appear that WSP assessed other polluted sites in proximity (closer than J. Swift) to 9-15 Albany Tpke., which was brought to its attention by C.A.R.E and its consultant. The concern here is that pollutants at those sites have the same potential of being re-mobilized by the significant blasting and site work proposed at 9-15 Albany Tpke. Without a thorough hydrogeologic review of the local conditions and a robust pre- and post-ground water monitor plan that consider those sites, there is an inherent risk that contaminants may be released that may ultimately pose a drinking water or vapor intrusion risk.

As pointed out by ALTA, Weston Solutions, EPA's consultant for the J. Swift site, stated in 2014 that, "ground water and contaminant flow in bedrock is highly influenced by preferential flow pathways along fractures zones and contaminant transport appears to travel in all directions from the former Swift site." That is completely contrary to WSP's most recent assertion that flow is solely to the west. It further underscores the need for a thorough, detailed evaluation of the local hydrogeologic conditions. If the Planning and Zoning Commission's role is protecting the health, safety, and welfare of the nearby residents, it will require that the applicant fully analyze the foregoing concerns before approving the application. The recent WSP memorandum falls short of providing the assurances needed to conclude that there will be no problems.

WSP states in its memorandum that J. Swift documents provide no evidence of a direct connection between water-supply wells in the vicinity of 9-15 Albany Tpke. and the

contaminated bedrock aquifer beneath the J. Swift Site via the Western Border Fault (WBF). However, in the early 1990s, low-level solvent contamination was identified in the La Trattoria Restaurant well that had been previously inactive, yet still revealed pollution.

As I have mentioned in previous testimony, there is significant concern that the impacts of blasting (seismic blast and vibration), significant site work, and changes in surface water drainage and recharge to the local ground water may create increased porosity in the bedrock underlying the site and vicinity such that nearby private and public wells previously unaffected by pollution at the Swift site or any other contaminated sites near 9-15 Albany Tpke. may become polluted posing a health risk to persons drinking the well water as well as to indoor air. Without a robust well testing program, the pollution may go undetected, since you cannot taste, smell, or see the pollutants in the water; however, they may pose significant health risk at very low concentrations.

As mentioned earlier, I have thoroughly reviewed ALTA's letter report dated April 21st, 2021 and can state that I agree wholeheartedly with its findings and concur that all seven (7) tasks identified in the letter be thoroughly addressed by the applicant and its consultants/engineers before the application is approved. I also concur with ALTA's recommendation that the Town's consultant, GZA, conduct a detailed, third-party review of all the technical documents submitted by the applicant's team of environmental consultants and engineers.

In closing, I share ALTA's sentiment that the applicant, not the Town nor its consultant nor C.A.R.E., should be obtaining, compiling, and analyzing all pertinent data with respect to the proposed development and providing the necessary assurances that there will be no adverse environmental impacts during and following the development of the site and that, first and foremost, the health, safety, and welfare of Canton, Avon, and Simsbury residents are protected. If there are problems, there should be a plan to quickly and efficiently address the problems and a means for paying damages should any arise. The burden should not fall on an innocent landowner who is damaged.

Thank you for the opportunity to comment on the proposed development.

Sincerely,

Bill Warzecha



ALTA Environmental Corp.

121 Broadway, Colchester, Connecticut 06415

Phone: (860) 537-2582, Fax: (860) 537-8374

21 April 2021
File No. 1799-01

VIA E-MAIL

Planning & Zoning Commission
Town of Canton
4 Market Street - PO Box 168
Canton, CT 06022

Attention: Mr. Neil Pade, AICP, Director of Planning and Community Development

Subject: Site Plan & Special Permit Application
9 - 15 Albany Turnpike (Route 44 & Route 202)
Canton, Connecticut

Ladies and Gentlemen:

I am writing to the Commission on behalf of Canton Advocates for Responsible Expansion (C.A.R.E) regarding the WSP's review of DEEP files on 7 April 2021 and Memorandum regarding same dated 14 April 2021. My comments are presented below for your consideration.

The file review was very incomplete. By WSP's estimate, WSP had time to review only approximately one third (1/3) of the available documents while they were in the file room. This was due to the large volume of available records and the limited time available for the one-day appointment.

WSP did not indicate whether they made additional appointments to allow review of the remainder of the files, or whether they believe that the information that they are unaware of may be useful in assessing whether this project can be implemented with a reasonable amount of safety, and if so how. In my opinion, review of the entire file would be appropriate and responsible.

The Memorandum is very short and does not provide supporting explanations for the conclusions presented. We were expecting that WSP would have summarize the information reviewed, and presented a thoughtful discussion of how WSP evaluated and used the information in the context of the proposed project.

Instead, the Memorandum contains just ten sentences, and the first two are introductory. The third sentence indicates that WSP was "unable to review all of the available files in their entirety", but this greatly understates the fact that only a relatively small percentage of the files was reviewed. The 1/3 estimate is indicated in a hand-written note at the very end of the documents provided by WSP in its link.

The fourth sentence indicates that WSP scanned 27 of the documents for later review, and the fifth sentence lists the types of documents scanned (e.g., reports figures maps). The sixth sentence refers to a summary table, but the summary table contains no interpretive information. There is no indication of how thoroughly WSP reviewed, evaluated, analyzed and/or used the information in the scanned documents, and what methods or thought processes were used to apply the information to the purpose of drawing conclusions.

The seventh sentence states that the information reviewed by WSP supports its previous conclusions that the proposed development will not contribute to the mobilization of contaminants from the former Swift site. WSP does not provide any rationale, assessment or discussion for this important conclusion, except perhaps in sentence eight where WSP states that groundwater in both the overburden and bedrock aquifers flows to the west, away from the proposed development property, sentence nine where WSP states that the [limited] documents reviewed by WSP provide no indication that the contaminant plume from the Swift site has migrated east toward the proposed development site, and sentence ten where WSP states that the reviewed documents provide no evidence of a direct connection between water supply wells near the proposed development property and the contaminated bedrock aquifer beneath the Swift site via the Western Border Fault.

One of the scanned documents was a 2014 Draft Site Reassessment report prepared by Weston Solutions, Inc. (Weston) for the U.S. Environmental Protection Agency under CERCLIS, the federal Superfund program. This report indicates that the Swift site is a federal as well as a State Superfund site, and concluded:

“M&E concluded that groundwater flow patterns in the bedrock are similar to those in the overburden with a somewhat steeper hydraulic gradient to Jim Brook. However, groundwater and contaminant flow in bedrock is highly influenced by preferential flow pathways along fracture zones and contaminant transport in bedrock appears to travel *in all directions* from the former Swift property” (emphasis added, reference citations omitted).

This statement, made by Weston, is in direct contradiction to the WSP’s statement in sentence eight, and notably Weston’s conclusion in 2014 was based on review of over 20 years of additional data and information generated since the 1993 M&E report. That WSP included sentence eight without even mentioning, no less providing its rationale as to why WSP has a differing opinion regarding the Weston statement, is very concerning.

The presence of tetrachloroethylene (PCE) in the La Trattoria bedrock well either directly contradicts the statements in WSP sentences nine and ten, or is an indication of a PCE source located even closer to the La Trattoria well and the proposed development property than the Swift site. One such source could be the La Trattoria septic system. The limited DEEP file documents obtained by WSP indicate that there are at least three bedrock wells on the La Trattoria property: (i) well #1 located along Route 44 southeasterly from the southeast corner of the restaurant building, 407 ft. deep, drilled on 3 March 1978 and not used for drinking (e.g.,

used for urinals and sprinklers), and also noted as abandoned, (ii) well #2 beneath the building basement, 90 ft. deep and sealed, and (iii) a new well #3, 500 ft. deep, drilled in November 1977, located 125 ft. northerly of the northern-most outbuilding in the area of one of two proposed “test well” locations near two “cross faults” mapped by Dr. John Raab (see below). Geological reports prepared in 1977 by John A. Raabe, Ph.D. for the La Trattoria property state:

“the present problems with water quality during times of heavy draw result from the transport of lower quality water along faults,” and that the quality of water from production wells at the property is dependent on the quality of the water in the faults and the associated wetland [located just west of the La Trattoria property]. [Note: ALTA discusses the potential for dumping of drums, and discharge of potentially-contaminated stormwater, into this wetland later in this letter.]

It appears that the “problems with water quality” in 1977 may have been associated with septic system contamination, rather than or in addition to the Swift site, based on notes that refer to detergents and septic odor (but also methane, propane and butane) in the “old drilled well.” From the 2014 Weston report (and the 1993 M&E report), the use of a septic tank degreasing product (trade name “Drainz”) is the likely source of chlorinated volatile organic compound (CVOC) contamination in a bedrock drinking water supply well at 50 Forest Lane (located south of the Swift site), rather than the Swift site; however, a more-definitive determination was not made. Hence, the PCE in one of the La Trattoria wells may be from a similar source, or from the Swift site, or from other industrial sites in the area. Notably, the La Trattoria well in which the PCE was detected was listed as inactive in 1990; hence, if the PCE was “drawn in” by pumping, it remained present to be detected after the well was no longer in use and no longer drawing water in on a regular basis (if the well was inactive with respect to pumping rather than with respect to drinking).

This information calls into question, if not contradicts, WSP’s statements in sentences nine and ten. That WSP included sentences nine and ten without even mentioning, no less providing a reasoned assessment of, the information briefly summarized above, is very concerning.

The limited file documents obtained by WSP refer to reported dumping of a large number of 55-gal. drums containing waste sludge from the Swift site into the wetland between the Swift site and the La Trattoria site (and the proposed development property beyond). Weston states that M&E did not substantiate this report. Acetone was one of the solvents dumped at the Swift site and was detected in surface water flowing out of this wetland, and was later not detected. ALTA has not completed sufficient assessment of this matter to opine on whether the drums were dumped or not. In my opinion, WSP should have done this assessment, at least to the degree permitted by thorough review of the entirety of the available existing files. Also, as reported by Weston, stormwater runoff from the Swift site (and other nearby industrial sites) flows east and discharges into this wetland. In accordance with general hydrogeologic principles, consistent with ALTA’s pump test experience, and as indicated by Dr. Raab in 1977, the water in the wetlands could be expected to recharge (flow into) the underlying bedrock faults and other fractures that interconnect the Swift site and surrounding sites including the proposed

development site. That WSP would find and review this information in the DEEP files, and not deem it worthwhile to summarize and discuss for the Commission, is very concerning.

In my opinion, it should not be the Town's (or its consultant's) role to obtain all the pertinent data and information related to this application, complete detailed analysis of same, and develop recommendations. For this project, the recommendations should be developed to ensure that blasting- or other project-related adverse impacts will either not occur, or if they do occur, will be reliably identified and rectified promptly. In my opinion, this is the applicant's (and its consultants') role, and that role has not been fulfilled.

The role of the Town's consultant, GZA, in my opinion should be to complete a robust third-party review of the applicant's submittals in these regards. Specifically, GZA should conclude independently on the Town's behalf whether blasting or other project-related adverse impacts will either not occur, or if they do occur, will be reliably identified and rectified promptly.

Accordingly, in my opinion, prior to making a decision on this application, the applicant, through its consultant, should complete the following tasks, and the work should be reviewed by GZA on behalf of the Town:

1. Review all pertinent documents in the DEEP files and other sources;
2. Provide the backup documentation for the drinking water supply well survey completed for the 2,500 ft. radius of the planned blasting area;
3. Assess and describe the nature and significance of bedrock geology, including as related to formation contacts, faulting and fracturing, as pertaining to the migration of groundwater and soil vapor contamination pre-blasting and post-blasting;
4. Based on adequate review and analysis of the available information and data, develop a more-detailed blasting plan supported by a well-crafted report, as relates to:
 - Selecting any wells within 1,000 ft. to 2,500 ft. of the blast zone for completion of pre-/post-blast water well surveys (i.e., in addition to all of the wells within a 1,000 ft. of the blast zone, which the applicant has already selected for conduct of pre-/post-blast well surveys);
 - Monitoring of selected wells within the Swift site plume (and any other known or likely area plumes) during the pre-/post-blast water well surveys, with the well selection based on the findings from the analysis of the pertinent DEEP records and other information on the Swift site and other nearby sites that are sources or likely sources of contaminant plumes;

- Pre-/post-blast monitoring of soil vapor. Soil vapor monitoring locations should be determined based on analysis of the pertinent information and data from DEEP and other sources regarding the Swift site and other nearby sites that are sources or likely sources of contaminant plumes containing VOCs;
- Frequency and duration of pre-/post-blast well water and soil vapor monitoring based on analysis of the pertinent DEEP and other information, including but not limited to information on contaminant migration rates and retardation factors as presented in the M&E report, and any supplemental analysis deemed warranted;
- Water quality analytes to be sought during the pre-/post-blast groundwater quality surveys to be selected based on analysis of the pertinent DEEP records and other information on the Swift site, and other potential sources of contamination in the vicinity of the planned blast zone, and based on assessment of deicing constituents; and
- Monitoring of water elevations in selected drinking water supply wells and/or monitoring wells as part of assessing the blasting impacts. This can be done using data loggers in the wells to provide data on essentially a real-time continuous basis, and would show depth-to-water impacts (or absence of same) at the time of the blasting, as well as any longer term changes in well-water levels.

And, although not related to the WSP partial file review, ALTA recommends the following:

5. A bond amount large enough to ensure that any damage and/or impacts that may occur to structures, indoor air quality and/or well water quantity or quality are reliably identified and promptly rectified. For example, the bond amount could be set to cover the costs of the pre-/post-blast surveys, and if necessary, to cover the costs for the public water lines to be extended to any homes with impacted wells, and for those homes to be connected to public water, and the first 10 years of water bills, and to provide sub-slab venting systems for any buildings that are demonstrated to have been adversely impacted by soil vapor migration due to the blasting;
6. Assessment of the potential for road deicing constituents proposed to be used at the site to impact area water supply wells; and development of plans to acceptably reduce that potential; and
7. GZA review of Solli Engineering, LLC's design for secondary containment for the underground storage tank (UST) and stormwater management systems. In my opinion, the goal of GZA's review should be to conclude whether or not the system designs, and the prescribed construction monitoring and documentation provisions, are sufficient to reasonably ensure that releases will not occur from the storage, distribution and handling of petroleum on site.

Town of Canton Planning & Zoning Commission
21 April 2021
Page 6

LETTER CLOSURE

Thank you for your consideration of this letter, which we hope will assist the Commission in its review of the application and help to ensure that blasting or other project-related adverse impacts will either not occur, or if they do occur, will be reliably identified and rectified promptly.

Sincerely yours,
ALTA Environmental Corporation

A handwritten signature in blue ink, appearing to read "Evan J. Glass LEP".

Evan J. Glass LEP
President

c: Ms. Jane Latus, C.A.R.E.

ALTA 21 April 2021 Letter

Archived: Wednesday, April 28, 2021 2:13:49 PM
Subject: FW: Rt 44 Canton Development - Rock ridge
Importance: Normal

----- Original message -----

From: Kasem O <kasemo@gmail.com>
Date: 4/20/21 8:12 PM (GMT-05:00)
To: "Pade, Neil" <NPade@TownofCantonCT.org>
Subject: Rt 44 Canton Development - Rock ridge

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Dear Mr Pade,

I'm a resident of Avon - I live right on the Canton line in the Kingswoods neighborhood. Living a short walk from the Canton line, I spend a good deal of time in Canton and I love the town.

When I first heard of the development at 9-15 Albany Turnpike, Canton I thought: *"This doesn't impact me. Why should I care about a new gas station? We could use another one here anyway."*

Then I read the facts about the development of 9-15 Albany Turnpike. I quickly changed my mind.

The proposed gas station / car dealership is a threat to the health and safety of the residents of Canton and its surrounding towns.

I grew up in Simsbury and I have tons of happy memories of this area - Simsbury, Avon, Canton - this was my childhood! I have such fond memories of the area ... I chose to settle down here. The iconic entrance to Canton - the hill up Rt 44 through the rock ridges is something I've known for the entirety of my life. It's a solid part of Canton ; something all of us in the area know. We pretty much take it for granted that the landscape we are so familiar with will be there tomorrow.

Another thing we all take for granted - is our clean water. We basically can not survive without it.

That said, blasting near a superfund site threatens our clean water. Irreparable damage to our public water supplies could be done that will impact not only Canton, but the surrounding towns - including mine. Our families, our children, our loved ones, our pets ; everything is threatened by this potential development.

No individual's wealth should be above the health, safety, and well being of Canton and its surrounding communities. The potential development of the gas station and car dealership threatens our homes, health and lives.

Please do what you know is right - for Canton, its residents and neighbors.
Please deny permission for blasting and development of the gas station/car dealership on Rt 44.

Archived: Wednesday, April 28, 2021 2:14:29 PM
Subject: FW: 15 Albany Tpke - Canton
Importance: Normal

From: betty flora [mailto:flora.betty@gmail.com]
Sent: Monday, April 19, 2021 6:30 PM
To: Pade, Neil; Richard Correia; Mark Greenberg; David Markowitz; Kevin Solli; Skinner, Robert; Robert Bessel
Subject: Fwd: 15 Albany Tpke - Canton

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

[Save The RockCanton, CT Community](#)

[Mar 27](#) ·



· ...Swift Superfund contamination** spread. > La Trattoria (drinking) well water had detected carcinogens back in the early 90s, according to a DEEP report unearthed by hydrogeologist and presented at the Feb. 17, 2021 hearing. <https://bit.ly/31ocJ5L> The next public hearing is May 5, 2021. Please Donate Now!

gofundme.com

[Save The Rock - And Our Water, organized by Canton Advocates For Responsible Expansion](#)

----- Forwarded message -----

From: **betty flora** <flora.betty@gmail.com>
Date: Mon, Apr 19, 2021 at 4:42 PM
Subject: Re: 15 Albany Tpke - Canton
To: Tamie Kinney <Tamalee.Kinney@ctwater.com>

NEIL AND PLANING AND ZONING COMMISSION . . . THE ABOVE SAVE THE ROCK POST IS MISLEADING . . . AND THEY ARE ASKING FOR MONEY.

LA TRATTORIA AND MY FAMILY GOT CWC WATER IN 1979.
THEY ARE TRYING TO HURT ME BUT THEY ARE ALSO HURTING THE LOVELY CANTON FAMILY THAT BOUGHT 22 ALBANY TURNPIKE AND ARE WORKING ON RENOVATIONS TO OPEN.
THEY ARE HURTING OTHER CANTON BUSINESSES.
PEOPLE WILL STOP COMING TO CANTON TO OPEN BUSINESSES AND TO SPEND MONEY.

WE ALL LEARNED WHEN THE GOLF COURSE WAS DEVELOPTED THAT THE PLUME FROM SWIFT WENT TO SECRET LAKE. YET THEY ARE TALKING LIKE

THEY ARE UNAWARE. I AM CONCERNED WITH THE INACCURATE
INFORMATION THAT IS BEING PUT OUT AS FACT.
BETTY FIORA

CWC SAYS IN THEIR EMAIL THAT THEIR RECORDS SHOW 1979.

Thank you!

On Mon, Apr 19, 2021 at 4:33 PM Tamie Kinney <Tamalee.Kinney@ctwater.com> wrote:

Hello Betty -
Our records show 1979

Thank you

Tamie Kinney
Customer Service Represenative
93 West Main St
Clinton Ct 06413
1/800-286-5700



Archived: Wednesday, April 28, 2021 2:14:51 PM
From: Taylor, Ken
Sent: Thu, 15 Apr 2021 13:14:55
To: Pade, Neil; Collene Byrne
Cc: Deltenre, Renee; David J. Markowitz; Kevin Solli
Subject: RE: 9-15 Albany Tpk - Additional Materials
Importance: Normal

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Due to the large number of files, only approximately one third of the available files were able to be reviewed.
The table lists documents that were reviewed. Some items such as correspondence were not scanned. Everything reviewed was included in the Upload folder.

Kenneth Taylor,PG(NY),CPG
Supervising Hydrogeologist

Phone: 203 929 8555 office
Phone: 475 882 1725 direct

.

From: Pade, Neil <NPade@TownofCantonCT.org>
Sent: Thursday, April 15, 2021 10:54 AM
To: Collene Byrne <Collene@sollillc.com>
Cc: Deltenre, Renee <RDeltenre@TownofCantonCT.org>; David J. Markowitz <dmarkowitz@hgesq.com>; Kevin Solli <Kevin@sollillc.com>; Taylor, Ken <ken.taylor@wsp.com>
Subject: RE: 9-15 Albany Tpk - Additional Materials

Can you also estimate the percentage of the total file record as follows:

1. That which was physically scanned;
2. That which was actually looked at, even if briefly.

Thank you,
Neil

From: Pade, Neil
Sent: Thursday, April 15, 2021 10:40 AM
To: 'Collene Byrne'
Cc: Deltenre, Renee; David J. Markowitz; Kevin Solli; Taylor, Ken
Subject: RE: 9-15 Albany Tpk - Additional Materials

Can you please clarify –

1. Is everything in this table what was available in the DEEP file room and included in the upload folder?
2. Is everything that was included in the upload folder what was scanned?
3. Is there an accounting of items in the file room that were not scanned?
4. Can you provide an explanation of what process was used to determine what would be or not be scanned?

Thank you,

Neil S. Pade AICP
Director of Planning and Community Development
Town of Canton, Connecticut
4 Market Street
PO Box 168
Collinsville, CT 06022-0168
860-693-7891 Phone
860-693-7884 Fax
npade@townofcantonct.org
www.townofcantonct.org

From: Collene Byrne [<mailto:Collene@solllc.com>]
Sent: Thursday, April 15, 2021 10:33 AM
To: Pade, Neil
Cc: Deltenre, Renee; David J. Markowitz; Kevin Solli; Taylor, Ken
Subject: RE: 9-15 Albany Tpk - Additional Materials

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Good morning Neil,
Please see attached memo and excel file provided by WSP. The excel file was inadvertently left off my attachments last evening. Also, please note that the memo contains a website link which includes additional reference materials. These files were too large to email but can be accessed via the hyperlink in the memo.

Please let me know if you have any further questions.

Thank you,

Collene Byrne
Project Manager



501 Main Street, Suite 2A
Monroe, CT 06468
Cell: (716) 870-4554

Office: (203) 880-5455

Fax: (203) 880-9695

Collene@SolliLLC.com

www.SolliEngineering.com

From: Pade, Neil <NPade@TownofCantonCT.org>

Sent: Wednesday, April 14, 2021 6:35 PM

To: Collene Byrne <Collene@solliillc.com>

Cc: Deltenre, Renee <RDeltenre@TownofCantonCT.org>; David J. Markowitz <dmarkowitz@hgesq.com>; Kevin Solli <Kevin@solliillc.com>; Taylor, Ken <ken.taylor@wsp.com>

Subject: RE: 9-15 Albany Tpk - Additional Materials

Can you please review what was sent and confirm that is your complete submission on this matter?

Thanks,

Neil

From: Collene Byrne [<mailto:Collene@solliillc.com>]

Sent: Wednesday, April 14, 2021 5:53 PM

To: Pade, Neil

Cc: Deltenre, Renee; David J. Markowitz; Kevin Solli; Taylor, Ken

Subject: 9-15 Albany Tpk - Additional Materials

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Good afternoon Neil,

Please find attached a memorandum prepared by WSP regarding the application at 9-15 Albany Turnpike.

Please let me know if you have any questions or concerns.

Thank you,

Collene Byrne
Project Manager



501 Main Street, Suite 2A

Monroe, CT 06468

Cell: (716) 870-4554

Office: (203) 880-5455

Fax: (203) 880-9695

Collene@SolliLLC.com

www.SolliEngineering.com



MEMORANDUM

TO: Kevin Solli, PG
FROM: Kenneth Taylor, PG (NY), CPG
Patrick Staub
SUBJECT: CTDEEP File Review
DATE: April 14, 2021

On April 7, 2021, Tunde Komuves-Sandor of WSP reviewed a portion of the available documents on file at the CTDEEP Public File Room for the former J Swift Chemical Company Superfund Site (J Swift Site) located at 51 Albany Turnpike in Canton, Connecticut. Our review was conducted during the business hours for the file room; from 9 AM to 3 PM. Due to the significant number of files, we were unable to review all of the available files in their entirety.

Twenty-seven selected documents dating from 1977 through 2014 were scanned into digital format and stored on a portable data storage device for later review. The scanned documents included CTDEEP memoranda, correspondence, reports, figures, maps, data summary tables and laboratory reports for the J Swift Site and samples collected in the surrounding area. The attached table presents a summary of the contents of the scanned documents.

The information contained in the reviewed documents supports our previous findings and conclusions; that the proposed development at 9-15 Albany Avenue (Subject Property) will not contribute to the mobilization of contaminants from the former J Swift Site. Most importantly, the CTDEEP file documents confirm our previous understanding, that the contaminate groundwater plume associated with the J Swift Site in the overburden and bedrock aquifers flows to the west, away from the Subject Property. The reviewed reports/documents provide no indication that the J Swift Site groundwater plume has migrated to the east toward the Subject Property. Further, the reviewed documents provide no evidence of a direct connection between water-supply wells in the vicinity of the Subject Property and the contaminated bedrock aquifer beneath the J Swift Site via the Western Border Fault (WBF).

File reviewed are located at

<https://1drv.ms/u/s!Ai4ITWMwFGaQgR2PDRBGzH3KkBCo?e=eH0p2x>

No	Filename	Date	Report Title	Contents of Report	Notes
3	2021-04-07 09-24 1977 Geologic narrative rept	10/26/1977	Proposal for new well location	Discussion regarding new well at La Trattoria restaurant	Letter re new well at la trattoria.
19	2021-04-07 12-50 1978 bedrock geology sketch	11/27/1978	Canton Groundwater Contamination	DEP memo regarding potential migration of contaminants, site and vicinity sketch	map showing existing and predicted plume migration to the west. Letter opines that migration along the fault is unlikely without significant pumping
2	2021-04-07 09-18	11/30/1978	N/A	DEP memo regarding site visit	DEP memo re site walk and some samples. Former employee told DEP that in the summer of 1969 he dumped approximately 800-1000 barrels of liquid containing solvents on the property.
4	2021-04-07 09-45	5/27/1981	N/A	Letter regarding two USTs at a honda delaership	Short letter re chemical odor from two tanks. Loication or address of tanks not specified. Health director concerned about quality of bedrock aquifer
23	2021-04-07 13-39 1989 Hand written notes containing geo logs	1/10/1989	N/A	Hand written notes regarding bedrock wells in the vicinity of the site, including cheryl drive and la trattoria restaurant	notes on test pit and geologic well logs in the vicinity of the j swift site. Identified contamination to the west of swift property
22	2021-04-07 13-35 1989 Desission Document	3/21/1989	Decision Document	Report from DEP Commissioner on decision to use state funds to remediate	decision for DEP to take responsibility for the property
20	2021-04-07 12-59 1989 off site figures with notes	5/3/1989	N/A	maps showing location of site	figures shows trace contamination in private wells to the southwest of the swift site. Also shows trace contamination at la trattoria. No results included or description of what the nature of the contamination is
21	2021-04-07 13-28 1992 Magnetic survey	5/1/1990	Magnetic Survey	Report for magnetic survey conducted at the J Swift site and the property on the eastern side of Colonial Street	magnetic survey of j swift to identify locations of possible buried drums
1	2021-04-07 09-05 1990 labs	8/1/1990	N/A	Private well sample results	Samples from private wells on Secret Lake Road. ND except at 26 Secret Lake Road, 2.1ppb TCE and 1.0ppb PCE
24	2021-04-07 13-51 1990, Sept Geo Logs	9/7/1990	N/A	Geologic logs and well locations for wells on the J Swift property	geologic logs for wells on j swift property
25	2021-04-07 14-06 1990 Remedial investigation, x-section	10/25/1990	Remedial Investigation/Feasibilty Study. Phase II field investigations work plan October 1990	Workplan for 1990 remedial investigation, summary figures, data tables, onsite and offsite groundwater results	Shallow fracture zones in bedrock wells to the west of the j swift site, ~300ft deeper fractures at la trattoria. Continuous fractures or fracture zones sloping down to the west.
5	2021-04-07 10-11 2001 Letter	9/13/2001	N/A	DEP letter requesting EPA designate site as an active state lead	Overburden GW flow to the west/southwest. Upward vertical hydraulic gradient
14	2021-04-07 11-29 2004 maps, tables, results	8/13/2004	N/A	GW sample results at 81 albany tpke	Request to EPA to designate site as an "active state lead". Indicates that a comprehensive investigation was completed in 2001 and intended to implement remediation in 2002
7	2021-04-07 10-39 Nov 2004 off site environmental assessment	11/2/2004	Off-site environmental assessment	Offsite soil and soil gas sample results	offsite sample results. Map with hand written resutls collected 9-22-03
13	2021-04-07 11-26 2004 off site soil gas results	11/26/2004	N/A	soil gas results from 2004 offsite environmental assessment	We had this report from FVHD
18	2021-04-07 12-25 Plates	12/1/2004	N/A	figure depicting onsite groundwater sample data	We had this from FVHD
17	2021-04-07 12-17 2005, June quarterly monitoring with tables	7/19/2005	N/A	GW sample results at 71 albany tpke	plate showing results on swift property. Blurry, hard to distinguish.
6	2021-04-07 10-30 2005 soil vapor & sub slab system	8/18/2005	N/A	DEP offer to install subslab vent system at 11 old albany turnpike	quarterly sampling results for 71 (3Q05). Flow map shows flow to the west. Tables contain results for 1998-2005
9	2021-04-07 11-12 2009 off site sampling results	8/28/2009	N/A	Offsite GW sampling results at 66&71 albany tpke 8-28-09	offer from DEEP to install subslab vent system at 11 old albany tpke. Indoor air results show 0.59 ppbv PCE, ND TCE
8	2021-04-07 11-02 2008 & 09 Random info found	9/25/2009	N/A	2009 offsite GW and SV sample results and location figure	Offsite GW sampling at 66&71 albany tpke 8-28-09. Highest concentration of PCE at 71 was 148 ppb. At 66 was 618 ppb. Lower concentrations of TCE and cis12DCE
10	2021-04-07 11-16 2009 off site sampling results	10/16/2009		2009 private well sample results, Secret Lake Road	offsite GW sampling at 65 Albany tpke (fka golfers warehouse): east of building shows TCE/PCE contamination. Highest concentration at GP-C at SE corner of property: 290 ppb TCE and 1009 ppb PCE
11	2021-04-07 11-20 2010 Email with sampling results	3/19/2010	N/A	Email discussing GW sample results at 3 old albany tpke, second email discussing GW sample results from private wells	Residential water sampling on Secret Lake and 5-9 Cheryl Drive. PCE and TCE ND on secret lake, 1.9ppb TCE at 5-9 Cheryl.
12	2021-04-07 11-23 2010 Status update, tables, fig with notes	4/6/2010	Status Report	brief status update, august 2009 GW and SV sample results discussed	Results from sampling at 3 old albany tpke. PCE up to 34 ppb
16	2021-04-07 11-36 Map with monitoring, sampling locations	5/20/2013	N/A	map and descriptions of proposed sample	Site status report 2010. Sample results show up to 1009 ppb in plume running to the west of the swift site. Also over GWPC at 3 old albany tpke. Map shows GW flow direction to the west
27	2014 full report	2/14/2014	Draft Site Assessment Report	Detailed site history. Some inline data tables, mostly discussion, no figures	map and descriptions of proposed sample locations
15	2021-04-07 11-33 Map, fault contact, approx plume	Ca. 2001	N/A	map of plume plotting results from 1990 through 2001	
26	2021-04-07 14-19 2005 x-sections, maps & tables	Ca. 2003	N/A	Figures, data tables, cross sections	map of plume plotting results from 1990 through 2001

Archived: Wednesday, April 28, 2021 2:24:57 PM
From: Pade, Neil
Sent: Wed, 7 Apr 2021 08:28:38
To: Deltenre, Renee
Subject: FW: Land use on Route 44
Importance: Normal

This one appears to be new also. Please add to the record.

Neil

-----Original Message-----

From: Judy Robinson [<mailto:4robins@att.net>]
Sent: Tuesday, April 6, 2021 5:28 PM
To: Pade, Neil
Subject: Land use on Route 44

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Hello Neil, I've lived in Canton for 27 years, and I am extremely concerned about the proposal to allow for extensive blasting on the property at the entrance into town. Quality of life will be adversely affected both in the short term (by the noise/traffic/water table shifts caused by the blasting), and in the long term by the proposed development which does not fit in our town's character, nor fill any needs of our town. Please do not support this proposal. Thank you.

Respectfully,
Judy Robinson

Sent from my iPhone

Archived: Wednesday, April 28, 2021 2:25:36 PM
From: Pade, Neil
Sent: Mon, 5 Apr 2021 14:02:45
To: Deltenre, Renee
Subject: FW: Building project at Canton/Simsbury Line
Importance: Normal

Per the guidance of the Town Attorney, I have not been able to find any other testimony from Mr. Tubach so this can be added to the record.

Neil

-----Original Message-----

From: Nicola Tubach [<mailto:ntubach@comcast.net>]
Sent: Saturday, April 3, 2021 10:11 AM
To: Pade, Neil
Subject: Building project at Canton/Simsbury Line

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Dear Mr. Pade,

I strongly oppose the housing/electrical station/ shopping project that being proposed along the Canton/Simsbury Line. We do not need a new shopping venue when our current mall is failing and there are empty shops all along art 44. We certainly do not need fancy housing that will not provide enough tax dollars for educating the children or town services. The thought of having a stop light at the top of the hill is ridiculous! A power station? When there are so few...who has 30 min the power up? Why not put a charging station at our failing mall? If the argument is that a power station and shopping go together maybe it would revive our mall. To remove the "mountain" that greets us as we enter Canton is no bonus. There is a reason this is not an easy location to sell and build on unless it is dramatically changed. The developer would need some big tax breaks to make it affordable. Can we be certain that the business taxes will be on the Canton side or will we just get the housing and subsequent education/town costs? And the most important reason I oppose this, is that there are no guarantees- we were promised a sports center to change the zoning at the Golf course and ended up with a failing Mall!!

Please do not accept this proposal. It is not in the best interest of our town or it's residents.

Thank you,

Nicola Tubach

Resident 20+ yrs.

Archived: Wednesday, April 28, 2021 2:26:11 PM
From: [Pade, Neil](#)
Sent: Mon, 29 Mar 2021 09:55:42
To: [Deltenre, Renee](#)
Subject: FW: blasting down the trap rock ridge at Canton's eastern entrance
Importance: Normal

Neil

From: Charles Frazine [mailto:charlesskf2@gmail.com]
Sent: Saturday, March 27, 2021 8:38 PM
To: Pade, Neil
Subject: blasting down the trap rock ridge at Canton's eastern entrance

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

i am a new resident of Canton and am against the blasting of the rock. it is right by a superfund site.

To: Neil Pade on behalf of the Planning and Zoning Commission

From: Cynthia Sondergeld- 50 Lawton Road, Canton CT

Re: Response to 3/17/2021 Testimony by the Applicant for the Development of 9 and 15 Albany Turnpike – File 475; Apln 2000

Since the public was not able to respond to the information provided last night, I am providing this memorandum. I have lived in town for over 30 years and am against the planned proposal for the development of 9 and 15 Albany Turnpike. Our property is less than 3/4 mile as the crow flies from this proposed development site.

I am even more concerned after hearing the applicant's experts testifying last night regarding the blasting and its impact on the former Swift Chemical Site and its possible impact on wells and water courses.

Mr. Taylor was asked by the applicant to present regarding his opinion on the impact of this plan on the former Swift Chemical Site on wells and water courses in the area. The Commission is being asked by the applicant to make an informed decision based on his opinion. The onus is on the applicant to bring a sensible and safe plan to the Commission for the use of that property.

However, Mr. Taylor failed to review, what seems to me, the most important information: the actual Swift Property information at the DEEP. If you listen to the recording you will find that he hides behind his ignorance with regard to the Swift property contamination. All of his opinions were qualified using words such as "as reported to me." He testified that it was "his understanding" that the contamination is migrating south westerly. He indicated that his opinion was "based on the information provided to me." He did not review the blasting plan.

Most importantly, when Mr. Solli asked him whether the blasting would impact the Swift Chemical Site, he responded "not based on the stuff that I looked at yet." That doesn't give me confidence in his opinion. In the absence of the Swift property information, how is his opinion an informed opinion and how can the Commission make an informed decision based on that?

Next, I have several concerns with regard to Mr. Nagy's testimony on the blasting. He claimed to have only contaminated one well from his blasting. However, how many times in his career has he blasted next to a superfund site? He claimed that he does not do pre-blast surveys, at least with regard to wells. However, during the meeting I was able to google the ConnDOT Safety Blasting Questions. (see attached). Several of the questions deal with pre-blast and post-blast surveys. They mention wells as a part of this survey. I am concerned in the absence of good pre-blast surveys how will Canton residents be able to prove legitimate claims that they may have regarding damage to their home or to their wells from blasting? Will we have to prove that the damage or contamination was not present before the

blasting? I do not believe Mr. Nagy's sniff test is very scientific nor would it yield results from wells tainted with solvents. As the recording will show, Mr. Solli testified that if a resident's well gets contaminated or dries-up and "it is from the blasting," but then he stopped and fell short of making any promises on taking responsibility. Without pre-blasting surveys of wells, will the responsibility be on the town of Canton, for its failure to require appropriate pre-blasting surveys, or residents to prove that it is from the blasting?

Mr. Nagy testified that the vibrations/noise would be that of a two-year old jumping off of a couch. I do not buy that expert opinion. Keep in mind, we have the control over our children's behaviors, not the blasting. Even the vibration/noise from a two-year old jumping off the couch would be disturbing if they were to do it over and over and over, during the course of the day for weeks on end.

Finally, I also noted that the applicant's testimony made light of many of the legitimate concerns made by residents. Many of us are living in town full-time due to the pandemic. Our homes are not only the place that we return to in the evening after a day at work, our homes are also our offices, our entertainment, and our outdoor/vacation space. When you go on walks through the town, many residents have upgraded their yards with pools, patios, outdoor furniture in the hopes of enjoying the nice weather during this difficult time. I ask the Commission to consider in full the impact that this project will have on the residents of Canton in the form of noise, vibration and dust pollution that resident will be forced to bear, despite the applicant's attempt to minimize this impact. Canton offers visitors many natural resources for their enjoyment, including walking trails, open space, and the Farmington River. Will this activity discourage visitors?

I felt that the applicant and the experts who testified at the hearing hid behind their intentional ignorance and half answers. I am very concerned that the Commission will approve this plan based on these opinions and this decision will be regretted by the Town of Canton and its residents. The town and the residents will bear the cost of any fallout from this project, a project which may or may not become reality as planned.

Thank you,

Cynthia Sondergeld

Archived: Wednesday, March 24, 2021 2:00:59 PM

From: Pade, Neil

Sent: Thu, 18 Mar 2021 11:13:09

To: Deltenre, Renee

Subject: FW: Response to the 3/17/2021 Testimony on 9 and 15 Albany Turnpike - File 475; Apln 2000

Importance: Normal

Attachments:

CantonBlasting.docx 

Please add the message and attachment to the record.

Neil

From: ericsondergeld@sbcglobal.net [mailto:ericsondergeld@sbcglobal.net]

Sent: Thursday, March 18, 2021 11:03 AM

To: Pade, Neil

Subject: Response to the 3/17/2021 Testimony on 9 and 15 Albany Turnpike - File 475; Apln 2000

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Since the Planning and Zoning meeting on 3/17/2021 ran out of time to allow the public to respond to the testimony provided on the 9 and 15 Albany Turnpike proposal, attached is my memorandum responding to the testimony provided. Please present this memorandum to the Commissioners. Below is a link to the ConnDOT Safety Blasting Questions discussed in my memorandum.

https://portal.ct.gov/-/media/DOT/documents/dconstruction/PG_Checklists/Construction_Inspection_Safety_Essentials/BLASTINGQuestionspdf.pdf?la=en

Thank you,

Cynthia Sondergeld – 50 Lawton Road, Canton CT

Deltenre, Renee

From: Pade, Neil
Sent: Monday, March 22, 2021 10:18 AM
To: Deltenre, Renee
Subject: FW: I am very strongly against the new car dealership/gas station on Rte 44. There are already several on the same stretch within a mile of that area. This just seems irresponsible with what is best for the character of our town and utterly unnecessary...

Neil

From: marilynlfay [<mailto:marilynlfay@comcast.net>]
Sent: Monday, March 22, 2021 8:09 AM
To: Pade, Neil
Subject: I am very strongly against the new car dealership/gas station on Rte 44. There are already several on the same stretch within a mile of that area. This just seems irresponsible with what is best for the character of our town and utterly unnecessary...C...

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Sent from my Galaxy

Archived: Wednesday, March 24, 2021 2:00:39 PM
From: Pade, Neil
Sent: Wed, 17 Mar 2021 12:11:04
To: Deltenre, Renee
Subject: FW: Proposal - electric vehicle showroom & gas station
Importance: Normal

Please add to the record

Neil

-----Original Message-----

From: Kathryn Rohlfing [<mailto:kate.rohlfing@icloud.com>]
Sent: Tuesday, March 16, 2021 8:51 PM
To: Pade, Neil
Subject: Proposal - electric vehicle showroom & gas station

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Hello,

I am reaching out regarding the absurd and dangerous proposal for the electric vehicle showroom and gas station. This will have a negative impact on our town and potentially surrounding towns. I think it's necessary to not allow the showroom & gas station. Please take my ask into consideration.

Kate Rohlfing

Sent from my iPhone

Deltenre, Renee

From: Pade, Neil
Sent: Wednesday, March 17, 2021 12:09 PM
To: Deltenre, Renee
Subject: FW: EV showroom and the "Rock" and ground water

Please add to the record

Neil

From: SouthWest Homeowners Assoc. [<mailto:swha@snet.net>]
Sent: Tuesday, March 16, 2021 10:36 PM
Subject: EV showroom and the "Rock" and ground water

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Fit into nature - Don't force onto nature.

The idea of an EV showroom is great since internal combustion engines are going to be a thing of the past. Within the next 10 to 20 years all new cars will be electric. So the need of 20 gas pumps is totally unjustified. There are almost that many pumps within a mile or so. Adding to a diminishing need is counter intuitive.

What is the value of the "Rock". The mining of the 140,000 cubic yards will bring in how much money as it is "disposed" of? Where is that money going to? This could be the beginning of a cash bond to ensure that water quality is secured. A cost savings would be to move the project to where it fits into nature.

The best way to secure the water is for the developer to fund a cash bond to connect all residences and businesses, within a mile radius, to a commercial water source and fund the costs for at least 10 years.

The cash bond should be made an absolute requirement to the EV project.

South West Homeowners Association

Pass this information to a neighbor to keep them aware of the activities in the South West.

Be part of our e-mail list by sending us your name, address, phone and e-mail.

91-95 Albany Turnpike

Conditions Worksheet – DRAFT

PLANNING & ZONING COMMISSION APPROVAL/CERTIFICATE OF ACTION - FILE 68
APLN #2040;

Zoning Regulation Section 9.8.B.1 – “No lot, building or other structure, or part thereof, shall be:

- a. Constructed, reconstructed, enlarged, extended, moved, diminished, reduced in size or structurally altered until a zoning permit has been approved by the ZEO;
- b. Used, occupied, or changed in use, until a zoning permit has been approved by the ZEO except that no zoning permit, however, is required for a farm, forestry, truck garden or nursery use having no building or other structure in connection with such use; and
- c. Be issued a building permit in accordance with CGS Section 8-3 (f) without certification in writing by the ZEO

_____ **ZEO authorization to Commence Site Construction issued on** _____

Phase I Work Authorized on _____

Phase II Work Authorized on _____

_____ **ZEO authorization to issue Building Permit issued on** _____

All site improvements shall be completed prior to the issuance of a Certificate of Occupancy/ Certificate of Zoning Compliance or a performance bond submitted to the ZEO in an amount and form acceptable to the Director of Finance and the Commission's Engineer to secure the cost of any outstanding improvements;

_____ **Post Construction Inspection occurred on** _____

Section 9.8.C.1.a - No lot, building or other structure, or part thereof, shall be used, occupied, or changed in use, until a certificate of zoning compliance has been issued by the ZEO certifying conformity with these regulations.

Section 9.8.C.1.b - In accordance with CGS Section 8-3 (f) no certificate of occupancy shall be issued for a building, use or structure subject to these regulations without certification in writing by the ZEO

_____ **Certificate of Zoning Compliance issued by ZEO on** _____

Conditions – Site Development Plan Approval:

Prior to Commencement of Site Activities (See

- _____ 1 . Final Plans shall be modified and submitted to the ZEO for review, prior to filing for the issuance of a building permit, to incorporate the following changes:
 - a. Updates to Zoning Compliance Table to be made as identified in the January 7, 2021 staff report, or otherwise required by the conditions/ modifications of this approval;
 - b. Proposed Signage shall be removed from the plans. Revised signage may be submitted to the ZEO for review and approval. A Sign Permit will also be required prior to installation;
 - c. Final review of the proposed fire lanes to be reviewed and approved by the Canton Fire Chief;
 - d. A detail for light poles, and proposed mounting height of light fixtures on poles and buildings, shall be added to the plans subject to approval by the ZEO; and,
 - e. The applicant shall resolve the questions and recommendations in the January 15, 2021 GZA review of the Stormwater system to the satisfaction of GZA.

- _____ 2. The applicant shall submit the following bonds to the ZEO as addressed in approval letter dated March 6, 2018:
 - a. Earthwork and Grading Bond in the amount of \$44,000;
 - b. Erosion and Sediment Control Bond in the amount of \$22,000;
 - c. Landscaping Bond in an amount determined adequate by Town Staff and reported back to the Commission if required by the ZEO;
 - d. The ZEO may accept the provision of additional security for outstanding improvements that are minor in nature or are seasonally dependent as part of the issuance of a temporary certificate. The ZEO may refer such requests to the Commission; and,
 - e. The ZEO may modify the approved landscape plan in accordance with Section 7.1.H.2.

- _____ 3. No site preparation work, including, but not limited to, grading, tree removal, on-site storage of materials and excavation work, may commence until the erosion and sedimentation control measures have been installed and inspected; and a preconstruction meeting has been held with the site contractor, ZEO, Wetlands Agent, Commission's Engineer, or their designees. Tree removal specifically necessary for and limited to the installation of erosion controls may be authorized by the ZEO.

_____ Erosion Controls Installed

_____ 1st Erosion Control Inspection

_____ 2nd Erosion Control Inspection (If Necessary)

_____ 1st Preconstruction Meeting Held on _____

_____ 2nd Preconstruction Meeting (If Necessary)

- _____ 4. The developer shall be responsible for erosion and sedimentation control in accordance with the approved plan; failure to adhere to the plans, or create any discharge of materials, shall be considered a violation. Remedial action may include the calling of the Erosion and Sedimentation Control Bond. No bond shall be released until any Erosion and Sedimentation Control Plan violations have been remediated.

- _____ 5. All necessary approvals and permits must be obtained from the Water Pollution Control Authority, **including the execution of a signed Sanitary Sewer Construction Agreement**, prior to the commencement of any site activities or issuance of any building permits.

_____ WPCA Capacity Review approval issued on _____

_____ WPCA Plan Review approval issued on _____

_____ WPCA Sanitary Sewer (or Lateral) Construction Agreement issued on _____

- _____ 6. All necessary approvals and permits must be obtained from the Farmington Valley Health District/ CT Water Company.

_____ FVHD / CT Water approval issued on _____

- _____ 7. All necessary approvals and permits must be obtained from the Department of Energy & Environmental Protection before any construction activities may commence under this approval.

- _____ 8. All necessary approvals and permits must be obtained from the Department of Transportation, including but not limited to District 4 Encroachment review and Office of the State Traffic Administration Major Traffic Generator AD or Certificate, before any construction activities may commence under this approval.

Prior to Issuance of Building Permits

- _____ 9. Building Permits be issued only if the following are met;
- _____ – Construction Drawings submitted to, and approved by the Building Official
 - _____ – Final construction drawings shall be reviewed by the Town of Canton Aquifer Protection Agent for compliance with the requirements of the Town of Canton Aquifer Protection Regulations and guidance from the CT Water Company Regulatory and Environmental Compliance and CTDEEP Aquifer Protection Area Program (including the November 12, 2020 e-mail communication from Kim Czapla at CTDEEP)
 - _____ – The applicant shall submit to the ZEO evidence of the filing of a lot line revision plan, inclusive of associated changes in deeds, as demonstrated on the approved plans
 - _____ – Copies of all easements and necessary legal documents demonstrating all properties will function as one cohesive site plan, compliant with Section 8.7, to be submitted to the Town Attorney for review and approval
 - _____ – Erosion Control Inspection and Preconstruction Meeting
 - _____ – WPCA Approval
 - _____ – FVHD Approval
 - _____ – CTDEEP
 - _____ – CT Water Approval
 - _____ – Encroachment Permit
 - _____ – Dumpsters shall be provided on-site during construction

Prior to issuance of Certificate of Occupancy/ Certificate of Zoning Compliance

Certificates of Zoning Compliance must be applied for in accordance with Section 9.8.C, and approved by the ZEO prior to the issuance of a Certificate of Occupancy (CGS 8-3(f)). Certificates of Zoning Compliance may not be issued by the ZEO until the requirements of Section 9.8.C have been met inclusive of the following:

- _____ 10. All site improvements included on the approved plans, and otherwise associated with this approval, to be installed as approved;
 - a. All work in connection with this site plan shall be completed within 5 years after the approval of the plan, or January 19, 2026;
 - b. All work in connection with an approved site plan shall be completed within the time frame established by CGS Section 8-3. Failure to complete all work within such period shall result in automatic expiration of the approval of such site plan unless the Commission has granted an extension of the time to complete work in connection with such site plan,
 - c. The Commission may grant one (1) or more extensions of the time to complete all or part of the work in connection with a site plan for good cause, upon written request from the applicant, provided the total extension or extensions shall not violate CGS Section 8-3, and upon on a determination of the adequacy of any bond.
 - d. The Commission may withhold approval of any or all extensions if the applicant fails to provide adequate evidence that work is able to begin within an extended time period. Evidence includes but is not limited to the acquisition of any or all required government approvals and commitments for project financing.
- _____ 11. All existing refuse and debris shall be removed from the site
- _____ 12. Outside lighting shall be tested to conform to the approved business and non-business reduced levels and documentation of the use of automatic dimmers or timers, within ½ hour of closing is provided
- _____ 13. All site lighting installed will be inspected for compliance with the approved plans by the ZEO, prior to the issuance of a CO
- _____ 14. The conditions of the December 10, 2020 permit approval by the Canton IWWA have been met
- _____ 15. There shall be no on-site burial of building materials or debris, and a statement to this effect shall be submitted to the ZEO prior to the release of bonds, or issuance of a Certificate of Occupancy/Certificate of Zoning Compliance;

Statement to ZEO submitted on _____

- _____ 16. Any Town streets, roads, sidewalks, curbs or other public components damaged due to construction activities are to be repaired or replaced, if required in the opinion of the Commission's Engineer, Director of Public Works or their designee;

Inspection by DPW Director or designee occurred on _____

- _____ 17. Complete improvement location survey (as-built) plans are to be submitted to the Town in accordance with Section 9, 8.C.8 of the Regulations prior to the issuance of a Certificate of Occupancy/Certificate of Zoning Compliance. The ZEO may accept a performance bond, in a form and an amount acceptable to the Director of Finance and the Commission's Engineer, as part of the issuance of a Temporary Certificate under Section 9.8.C.5.

Section 9.8.C.8 Certifications and As-Builts

- a. The purpose, expectation, and requirement for the filing of an As-Built is to accurately present the as-built record information in a clear and un-confusing manner so as to allow the reader to readily:
 - i. locate, interpret, evaluate, and comprehend the facilities, improvements, and work completed, and
 - ii. identify and quantify deviations of the as-built product from the approved design.
- b. The existence of accurate as-built information is important to proper maintenance and stewardship of the facilities and improvements throughout their useful life.
- c. During the process of construction, the following certifications shall be submitted to the ZEO by a professional land surveyor:
 - i. Certification as to horizontal and vertical location of the entire foundation relative to the property boundaries prior to framing of building or construction of wall.

_____ Foundation Certification provided on _____

- ii. Certification as to the horizontal and vertical location of all utilities prior to paving.

_____ Utility Certification provided on _____

- iii. Certification as to as-built conditions of all improvements constructed, improved, or otherwise altered as shown on the site development plan, in addition to, and in relation to existing improvements and facilities not altered, prior to the issuance of the certificate of occupancy or temporary certificate of occupancy.

_____ Improvement Certification provided on _____

- iv. Certifications shall be in the form of a map bearing the seal of the professional surveyor.

- d. The As-Built described in 9.8.C.8.C. iii. shall be prepared based on field survey information in compliance with all applicable provisions of the “Minimum Standards for Accuracy, Content, and Certification for Surveys and Maps” as set forth in Sections 20-300b-1 to 20-300b-20 inclusive of the Regulations of Connecticut State Agencies, and shall comply with accuracy classes A-2 & T-2 thereof and shall include the following: (Should special or unique conditions exist, additional information may be required.)

- i. Title block (including the words “As-Built”), developer, property owner, north arrow, scale, date of preparation, and seal of the surveyor preparing the plan;
- ii. Boundaries of property certified to a State of Connecticut A-2 Map Survey Standard;
- iii. All improvements constructed, improved, or otherwise altered as shown on the site development plan updated to reflect the actual locations, elevations, dimensions, materials, configurations etc. resulting from construction or any field changes approved by the ZEO;
- iv. Pedestrian walkways, driveways, loading, parking areas, parking lot striping, and limits of all paved surfaces;
- v. Location distance to property lines and dimensions of all buildings, structures, walls, fences, exterior lighting and refuse containment area;
- vi. Site grading in one (1) foot contours;
- vii. Utility plans showing the horizontal and vertical location of storm drainage, sewage disposal, water supply facilities, and electric and telephone lines; and

viii. A complete zoning data table included as part of the approved plan clearly showing the minimum requirements of the zoning district, those approved on the site plan and those as per as-built conditions.

e. **Where there is a discrepancy between the approved site plan and the as-built information, both the approved design and as-built information shall be presented, with the design information being crossed out with a single thin, but distinguishable line. In such cases, the as-built information shall be shown nearby its associated design information in a consistent and readily distinguishable manner.**

i. The ZEO may accept a performance bond, in a form and an amount acceptable to the Director of Finance and the Commission's Engineer, as part of the issuance of a Temporary Certificate under Section 9.8.C.5.

ii. All sheets shall bear the seal of the professional surveyor.

iii. A computerized map in digital format acceptable to the Commission's Engineer shall also be submitted.

_____ 18. The appropriate professional licensed by the State of Connecticut shall certify that all site development work and auxiliary facilities, sewer, parking areas, landscaping and plantings have been installed in accordance with the approved site plan prior to the issuance of Certificate of Occupancy/ Certificate of Zoning Compliance or a certified bond posted with the Town of Canton in lieu thereof;

_____ Design Professional Certification submitted on _____

_____ 19. Final release of bonds or subsequent reductions shall require the approval of the Commission;

_____ Commission authorizes release of bonds on _____

_____ 20. All necessary operation and maintenance of Stormwater retention/detention basins to be the responsibility of the property owner;

_____ 21. All required and approved landscaping shall be neatly maintained and dead vegetation replaced as soon as weather permits in accordance with the approved plans;

_____ 22. Litter, refuse, and debris generated from the site, or generated from the site and found in surrounding areas, shall be quickly removed; and

_____ 23. The site shall be reasonably maintained in good order by the property owner and shall be inspected weekly for trash and surface debris to prevent refuse and pollution.

OTHER:

_____ 1.

UTILITIES:

1. Power – Eversource
3. Fiber Optic Cable – Norton Electric
4. Cable – Xfinity
5. Water – CT Water
6. Sanitary Sewer – Canton Water Pollution Control Authority



**PDS ENGINEERING &
CONSTRUCTION, INC**

April 22, 2021

Neil S. Pade AICP
Director of Planning and Community Development
Town of Canton, Connecticut
4 Market Street
PO Box 168
Collinsville, CT 06022-0168

Reference: 91-95 Albany Turnpike
Mitchell Auto Group – Subaru Dealership
Subject: Site Phasing- Phase 1

Dear Mr. Pade:

PDS is seeking a change to the previously submitted phasing documents. The domestic water, fire water and sewer utility work to the two existing western most buildings, 95A,B, on the property is complete. Per the previously submitted drawings, temporarily patching in the asphalt is the last step in this phase of work. In lieu of subbase preparation and temporarily patching the asphalt trenches, we propose a permanent paving. From a constructability standpoint it makes more sense to remove the remaining asphalt to the west, prepare and install the subbase then install the permanent paving. We are proposing this for a couple reasons.

1. Mitchell intends on occupying the two buildings at the completion of Phase 1. Performing the work in this area by these two buildings will eliminate the major disturbance to their business while operational. Occupancy would happen prior to the completion of the Phase 2 permitting process.
2. There was a substantial amount of asphalt removed for the utility trenches and underground structures. From a cost and constructability standpoint it was not practical to prepare the base and patch back in all of the trenches and areas, then remove it all in kind, then prepare again and then pave again.

We are also looking to move forward with the demolition of the two existing buildings on the eastern side of the site, 91. This isolated work would happen prior to the start of the remaining Phase 2 sitework for the new building while the remainder of the required Subaru building drawings and Town approvals are in progress.

With respect to the 91 -95 Albany Turnpike Conditions Worksheet, there are a few of the conditions we request modifications/clarifications to.

#2 It is our understanding that only two bonds are required prior to the start of Phase 1 work. a. for \$44,000 and b. for 22,000. c, d, e, may apply after the start of construction.

#3 The Erosion Controls for Phase 1 would be limited to the localized areas that are being disturbed as identified on the Phase 1 drawings.

#8 DOT approvals and permits will be obtained prior to **Certificate of Occupancy**. Due to the lengthy process of DOT approval we don't want this to hold up the start of construction.

#17 c. ii. We are requesting the following modification to this language. "Certification as to the horizontal and vertical location of all utilities prior to **final top course** of paving."

#17 & 18 . PDS has engaged the following professionals for the site Design/Construction services.

Alfred Benesch & Company for Survey

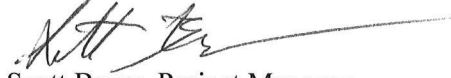
Lenard Engineering, Inc for Civil Design/Engineering Services

LADA P.C. for Landscape

Also, for informational purposes, PDS will pull a separate building permit for minor ADA upgrades and finishes for the rear building 95B.

Thank you for your consideration. Please do not hesitate to contact me if you need any more information.


Sincerely,

A handwritten signature in dark ink, appearing to read 'Scott Brace', with a long horizontal flourish extending to the right.

Scott Brace, Project Manager

LETTER OF TRANSMITTAL

TO: Neil Pade
Town Planner
Canton Town Hall
4 Market Street
P.O. Box 168
Collinsville, CT 06022

FROM:  **Lenard Engineering Inc.**
140 Willow Street, Suite 8
Winsted, CT 06098
Phone: (860) 379-6669
Fax: (860) 738-1272

Date: April 23, 2021

LEI Project No.: 20-105

Re: Mitchell Auto, 91-95 Albany Turnpike

This transmittal and its attachments are being sent via: Hand Deliver

The following items are attached:

Copies	Description
2	Plan Set "New Subaru Dealership, Mitchell Auto Group, Albany Turnpike, Canton, Connecticut" consisting of 16 drawings dated October 26, 2020, revised to April 21, 2021
2	Letter of explanation from PDS Engineering & Construction, Inc. dated April 21, 2021
1	Flash Drive with Plan set.


IF ENCLOSURES ARE NOT AS NOTED, PLEASE NOTIFY US IMMEDIATELY

Remarks:

This plan set shows the phasing for a small area of paving on 95 Albany Turnpike and demolition of Buildings 95C and 95D.

Copy To: PDS Engineering

Signature:


Todd Parsons, PE

NEW SUBARU DEALERSHIP

MITCHELL AUTO GROUP

ALBANY TURNPIKE (ROUTE 44 & 202)

CANTON, CONNECTICUT

October 26, 2020

REVISED: November 30, 2020 - Water Co. Comments
December 1, 2020 - Site Entrance, Building Doorway Locations
January 12, 2021 - Respond to Town Comments
February 10, 2021 - Respond to GZA Comments
April 13, 2021 - Lane Markings, GZA Comments, Delete Signs
April 21, 2021 - Phasing

APPLICANTS

91 ALBANY:
91 ALBANY TPK. LLC
384 HOPMEADOW STREET
SIMSBURY, CT 06070

95 ALBANY:
MITCHELL FARMINGTON VALLEY, LLC
384 HOPMEADOW STREET
SIMSBURY, CT 06070

OWNERS

Address	Owner	Lot Area	Map/Block/Lot	Deed Reference vol./page
91 Albany Tpk	91 Albany Turnpike, LLC 384 Hopmeadow Street Simsbury, CT 06070	4.20 acres	32/101/0091	304/912
95A Albany Tpk	Mitchell Farmington Valley, LLC 384 Hopmeadow Street Simsbury, CT 06070	See Note B	32/101/1095	459/835
95B Albany Tpk	Mitchell Farmington Valley, LLC 384 Hopmeadow Street Simsbury, CT 06070	See Note B	32/101/2095	430/515
95C Albany Tpk	Mitchell Farmington Valley, LLC 384 Hopmeadow Street Simsbury, CT 06070	See Note B	32/101/3095	459/835
95D Albany Tpk	Mitchell Farmington Valley, LLC 384 Hopmeadow Street Simsbury, CT 06070	See Note B	32/101/4095	415/410

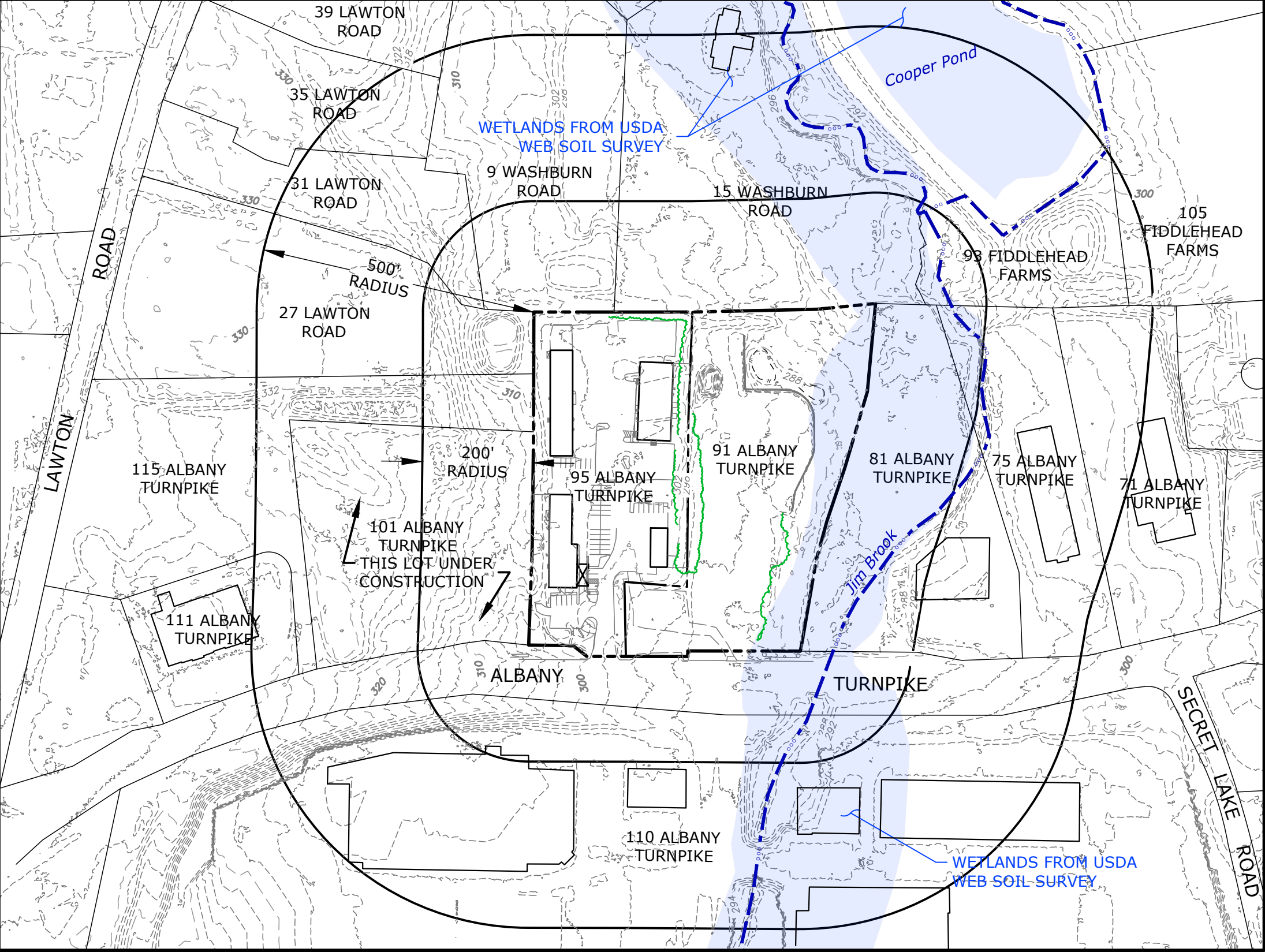
A. All properties are in the East Gateway Design Village District
B. Lot 95 units combine to make a 3.64 acre parcel

LIST OF DRAWINGS

	COVER
C-1	EXISTING CONDITIONS PLAN
C-2	DEMOLITION PLAN
C-3	SITE LAYOUT PLAN
C-4	SITE UTILITIES PLAN
C-5	SITE GRADING PLAN
C-6	EROSION CONTROL PLAN
C-7	EROSION CONTROL DETAILS
C-8	EROSION CONTROL NARRATIVE
C-9	SANITARY SEWER DETAILS
C-10	WATER DETAILS
C-11	SITE DETAILS
C-12	SITE DETAILS
C-13	SITE DETAILS

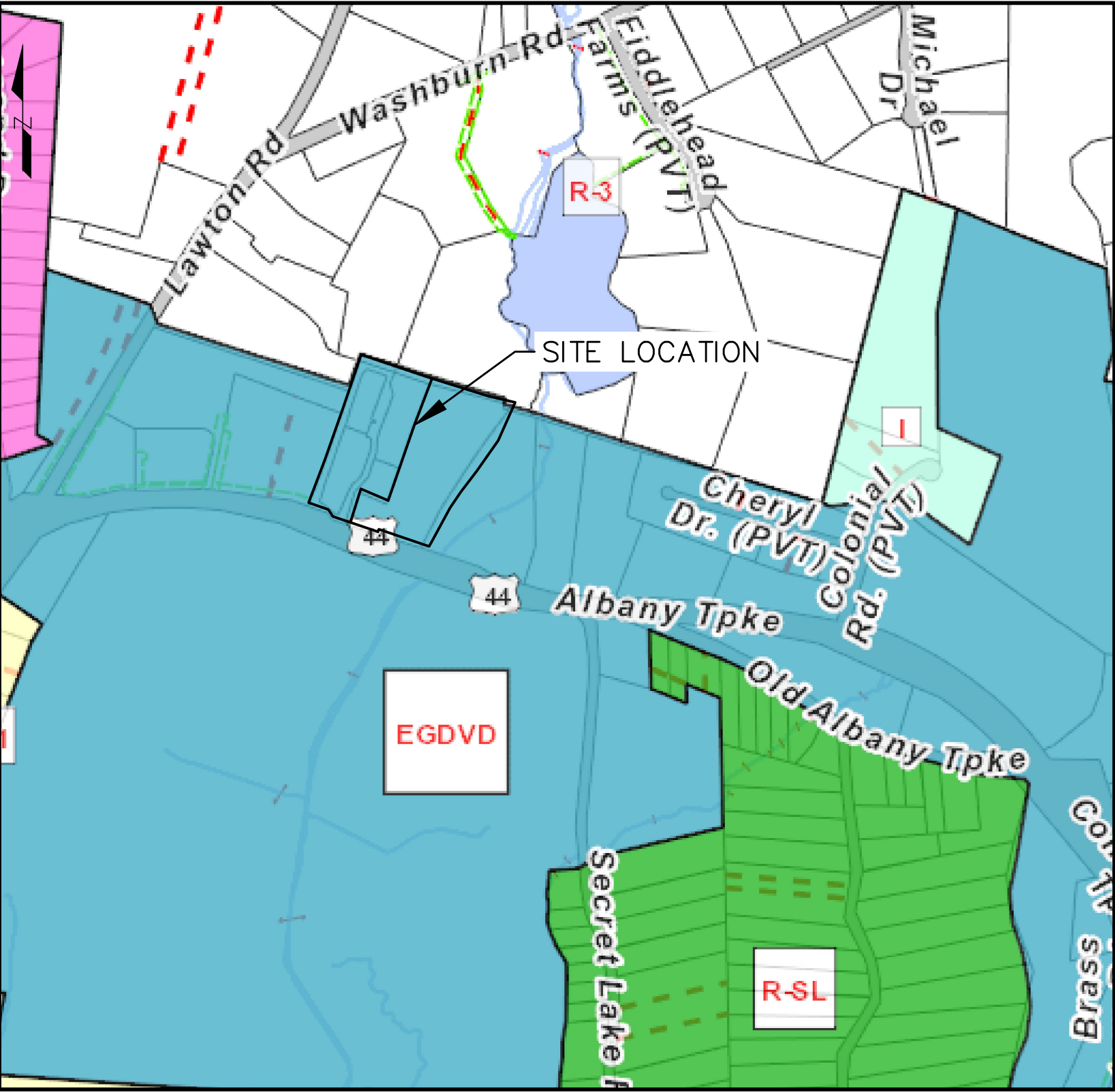
GENERAL NOTES

- The Contractor shall contact Call-Before-You-Dig at 800-922-4455 for marking of utilities prior to any excavation.
- The application requests approval under 8.7 of the Canton Zoning Regulations for a consolidated parcel arrangement. Lot 91 Albany Turnpike and Lot 95 Albany Turnpike will remain under separate ownership, but will construed as one lot with respect to building coverage, yard requirements, open space, and permitted uses.
- Existing conditions of the site are based on:
 - Boundary-Topographic Survey prepared for PDS, Albany Turnpike (CT Route 44 & 202), Canton, Connecticut prepared by Alfred Benesch & Company, dated Dec. 2019, revised February 4, 2020
 - Various utility mapping from the Town of Canton and Connecticut Water Company
 - Canton Connecticut mapping of the Aquifer Protection Zone
 - Websoil survey from National Resources Conservation Service
- Wetlands on the site were delineated by Soil Science and Environmental Services.
- There will be no sound amplification system outside of the building.
- There will be no illumination of signage on the north or east sides of the building except for signage in front of the building.



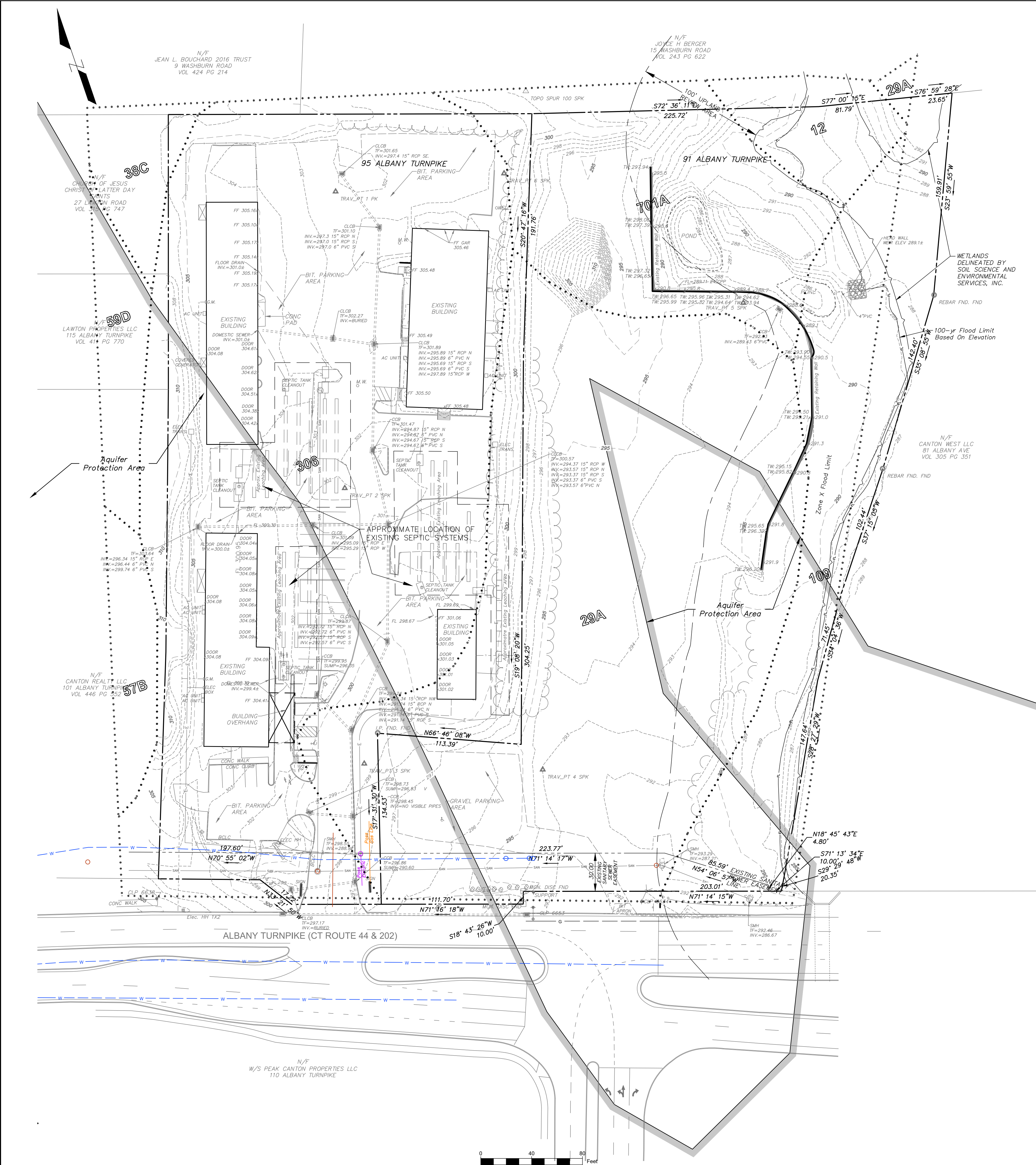
VICINITY MAP

SCALE: 1"= 200'



LOCATION MAP

SCALE: 1"= 500'



TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____

REFERRAL ☐
APPROVED ☐
CONDITIONS ☐

DATE _____

SIGNED _____ CHAIRMAN

SOIL TYPES ON SITE

..... SOIL TYPE BOUNDARY

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
12	Raypol silt loam	0.2	2.60%
29A	Agawam fine sandy loam, 0 to 3 percent slopes	2.9	32.80%
38C	Hinckley loamy sand, 3 to 15 percent slopes	0.2	1.90%
57B	Gloucester gravelly sandy loam, 3 to 8 percent slopes	0.2	1.90%
59D	Gloucester gravelly sandy loam, 15 to 35 percent slopes, extremely stony	0.2	2.20%
109	Fluvaquents-Udfluvents complex, frequently flooded	0.7	8.50%
306	Udorthents-Urban land complex	3.4	39.40%
701A	Ninigret fine sandy loam, 0 to 3 percent slopes	0.9	10.80%
Totals for Area of Interest		8.7	100.00%

NOTE:
ENTIRE SITE IS WITHIN NDDB AREA
PER DEEP NATURAL DIVERSITY DATA BASE
MAP FOR CANTON DATED JUNE 2020

Designed By:
Drawn By:
Checked By:

Drawing date:
October 26, 2020

EXISTING CONDITIONS PLAN

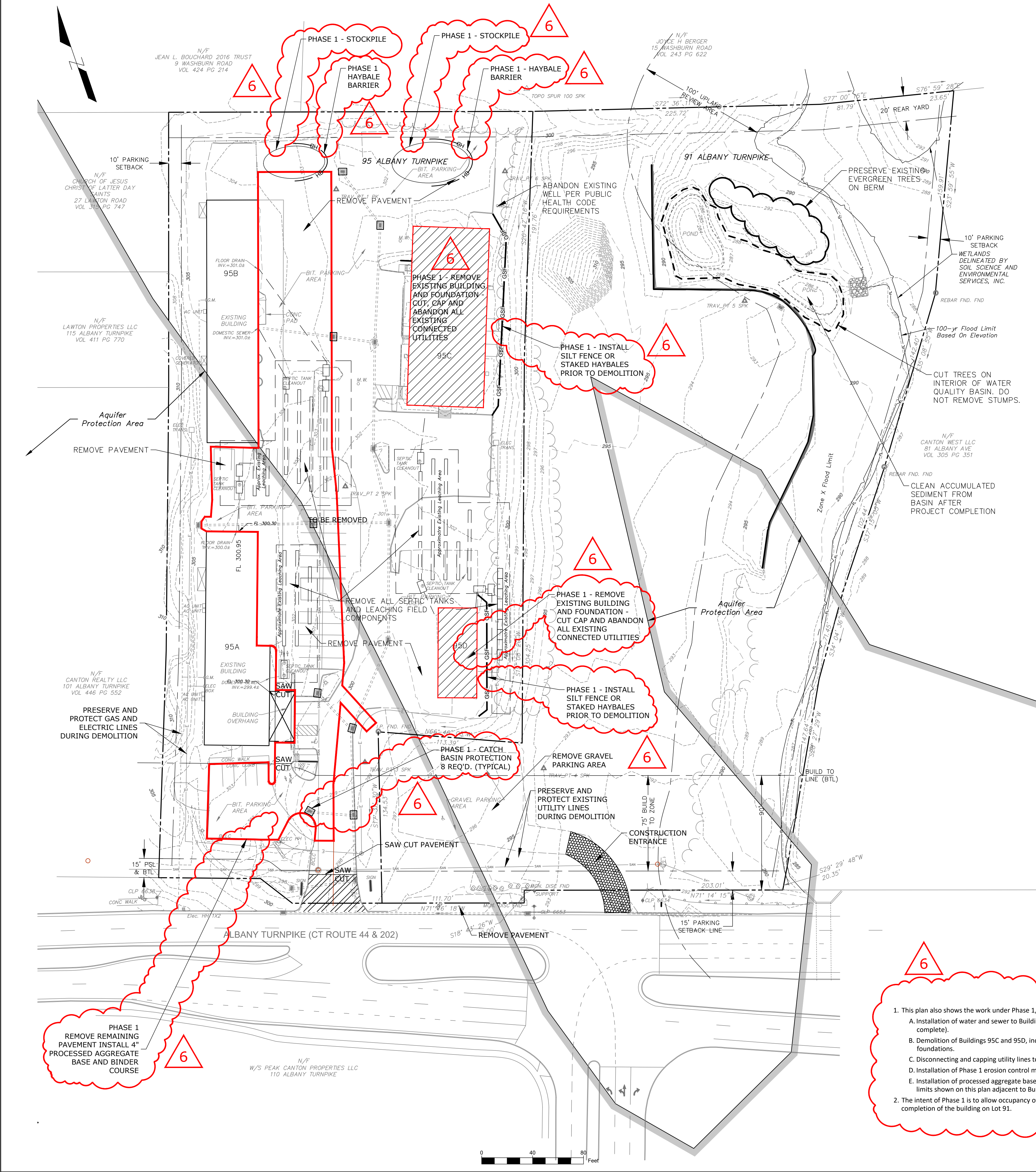
NEW SUBARU DEALERSHIP
MITCHELL AUTO GROUP
ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Glastonbury, CT
(860) 659-3100

19 Midstate Drive
Auburn, MA
(508) 721-7600

Drawing #:
C-1

Job #:
20-105



SPILL PREVENTION & EMERGENCY RESPONSE PLAN

I. Introduction

Work at this site will occur within or in close proximity an Aquifer Protection Area for a public water supply well. The Contractor shall take all necessary precautions to minimize the potential for contamination.

This plan describes the minimum spill prevention and emergency response measures that the Contractor must undertake during the course of this project to ensure the purity and adequacy of the public water supply and to protect valuable downstream water resources.

II. Supervision

The Contractor shall provide a qualified, full-time Superintendent who shall work on site during all active phases of the work, for the duration of construction activity. The Superintendent shall be fully trained and authorized to implement this plan. All employees working on this site shall be instructed in this plan prior to the start of construction.

III. Potential for Pollution

Pollution of the aquifer could result from damage caused by a heavy runoff event, normal construction operations, or an accident.

Runoff-induced pollutants include eroded soil from site work or materials washing off stockpiles of construction material. The project's Erosion Control Plan, contained elsewhere in the plans, contends with managing soil erosion and pollution associated with sedimentation.

Heavy runoff events could also wash residual contaminants into protected areas or downstream resources from stockpiles, equipment fueling and storage areas, or from equipment fluid storage containers.

Operations which could cause pollution include loading and unloading of construction materials, earthwork in close proximity to water resources, or refueling and servicing of construction equipment.

Accidents which could cause pollution include spills, leaks, and ruptured hydraulic lines.

IV. Prevention Measures

The Contractor shall implement the following measures to prevent and control potential adverse impacts to the public water supply and downstream water resources.

A. General Conditions

- Advise all employees routinely working on the site of this Spill Prevention and Emergency Response Plan.
- Post a sign in a conspicuous location on the site indicating that the property contains an Aquifer Protection Area.
- Minimize the use of sand and road salt for deicing.

B. Temporary Sanitary Facilities

- Furnish chemical toilets for use by construction workers throughout the duration of the work.
- Locate chemical toilets only outside of wetlands and outside of the Aquifer Protection Area.
- Provide toilet tissue, wash basins with soap and water, and paper towels.
- Maintain the facilities in a sanitary condition throughout the duration of construction.
- Provide an adequate number of chemical toilets for each gender of the work force.

C. Maintenance Operations

- All refueling and maintenance of equipment must take place on in the area designated on the Plans. This is the area adjacent to Building 95B in the northwest corner of the site. Refueling or maintenance of equipment is prohibited within 100 feet of any wetlands or within the Aquifer Protection Area.
 - Immediately clean all spills with absorbent materials from spill kits that are stored on-site. Properly dispose of all wastes and used absorbent materials immediately following cleanup.
 - Use spigots or funnels to minimize drips or leaks when transferring fluids.
 - Keep hydraulic and mechanical equipment in good repair. Clean all drips promptly.
 - Vehicle and equipment washing is prohibited at this location.
- D. Storage Procedures
- Continuous fuel storage is prohibited at this location. Fuel for equipment may be brought to the site daily in portable tanks. Any portable tanks must be removed from the site daily, prior to close of business for the day.
 - Relocate all construction equipment outside of the Aquifer Protection Area at the close of each work day.
 - Store all other equipment maintenance fluids and lubricants in containers located outside of the Aquifer Protection Area. All temporary storage shall be above-ground, protected from rainfall, and on an impervious surface.
 - Properly and conspicuously label storage containers for construction materials.
 - Keep oily wastes separate from other wastes, especially solvents.
 - Keep a complete and easily accessible set of Material Safety Data Sheets (MSDS) and storage instructions for stored materials at the site.
 - Provide an adequate number of dumpsters for refuse on the site. Provide covers and intact drain plugs on all dumpsters to prevent leakage of potential contaminants. Maintain dumpster covers in the closed position when the dumpster is not being loaded or unloaded. Place dumpsters greater than 100 feet from any wetlands and outside of the Aquifer Protection Area. Empty dumpsters before they become overfilled.
 - Protect stored materials from exposure to rainfall to the maximum extent practicable.

E. Loading and Unloading Procedures

- Qualified personnel, trained in spill response procedures, shall continuously observe all transfers of fuel to construction equipment.
- Refuel equipment only during daylight hours, in designated refueling areas.
- Use drip pans at hose connections.
- Prior to unloading, inspect hose connections on all construction equipment arriving at the site for leaks or problems. Repair any leaks or problems prior to off-loading equipment.
- Verify the capacity of a receiving tank prior to unloading fluid contents into storage.
- Reduce flow rate when topping off any kind of storage tank to prevent overfills.
- Secure all delivery trucks wheel chocks and parking brake during loading and unloading operations.
- Position delivery trucks during unloading to allow for a rapid response to a hose leak or other type of leak or spill.

V. Spill Kit

The Contractor shall maintain a complete and easily accessible spill cleanup kit on the site and shall train all personnel working at the site as to the location and proper use of spill-kit contents. The spill kit, at a minimum, shall contain at least the following contents:

- 50 pounds of absorbent materials (minimum)
- Shovel
- Broom
- 4100 linear feet of absorbent boom
- Waste drum with a minimum capacity of 30-gallon capacity (minimum)
- Absorbent pads in an adequate quantity to absorb a minimum of 25 gallons of oil

VI. Spill Response Procedures

In the event of a spill, the Contractor and his or her staff shall implement the following response procedures:

- Any employee who is aware of a spill or leak shall immediately advise the Contractor's Superintendent.
- The Superintendent shall evaluate the nature and extent of the spill and determine the necessary response.
- If the Superintendent determines that the spill is very minor and no threat to the watercourses or water bodies, the Superintendent shall direct the cleanup. The Superintendent shall report the spill to the Owner. The Contractor's work force shall contain the spill as close to the source as possible with tools and absorbent materials contained in the emergency spill kit. As necessary, the Contractor's work force shall construct additional dikes to protect swales, storm sewers, and watercourses down-gradient from the spill. Immediately following the cleanup, the Contractor shall properly dispose of all waste material, including used absorbent materials. The Contractor shall contact the DEEP Oil and Chemical Spills Unit at 860-424-3338 for guidance regarding proper disposal of hazardous or regulated wastes.
- If the Superintendent determines that the spill presents the potential for a health hazard, environmental hazard, or fire or explosion potential, he or she shall immediately call 911 to report the incident and solicit a response from the local Fire Department. The Superintendent shall then contact the Connecticut Water Company at 860-286-5700 to report the incident. If the spill is large or threatens the Aquifer Protection Area, wetlands, or watercourse, the Superintendent shall contact DEEP Oil and Chemical Spills Unit at 860-424-3338 for instructions. The Contractor or Superintendent shall direct any questions regarding pollution potential to the DEEP at 860-424-3372.
- Upon a response from the Fire Department or DEEP, the Contractor shall act as directed by the Fire Department, DEEP, and/or Connecticut Water Company personnel. To the best of his ability, the Contractor shall identify:
 - Trade name and product number of the spilled liquid
 - Chemical name
 - Manufacturer's name
 - Shipper's name
 - Form of chemical (liquid, solid, gas)
 - Estimate of amount spilled
- The Contractor shall assist in the cleanup when directed.

TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____
REFERRAL ☐
APPROVED ☐
CONDITIONS ☐

DATE _____
SIGNED _____ CHAIRMAN

NOTES:

- Contact CALL-BEFORE-YOU-DIG at 800-912-4455 for marking of utilities prior to excavation.
- Cap all existing utilities in accordance with utility company procedures.
- See Sheet C-8 for Construction Sequence.
- The work area shall be fenced off and secured during non-working hours.
- Any material stockpiles from Phase 1 shall be surrounded by staked haybales.

Designed By:
Drawn By:
Checked By:

By:
Rev. Date
Revision

Water Co. Comments
Site Entrance, Building Doorway Locations
Respond to Town Comments
Response to GZA Comments
Lone Markings, GZA Comments, Delete Signs
Phasing

Drawing date:
October 26, 2020

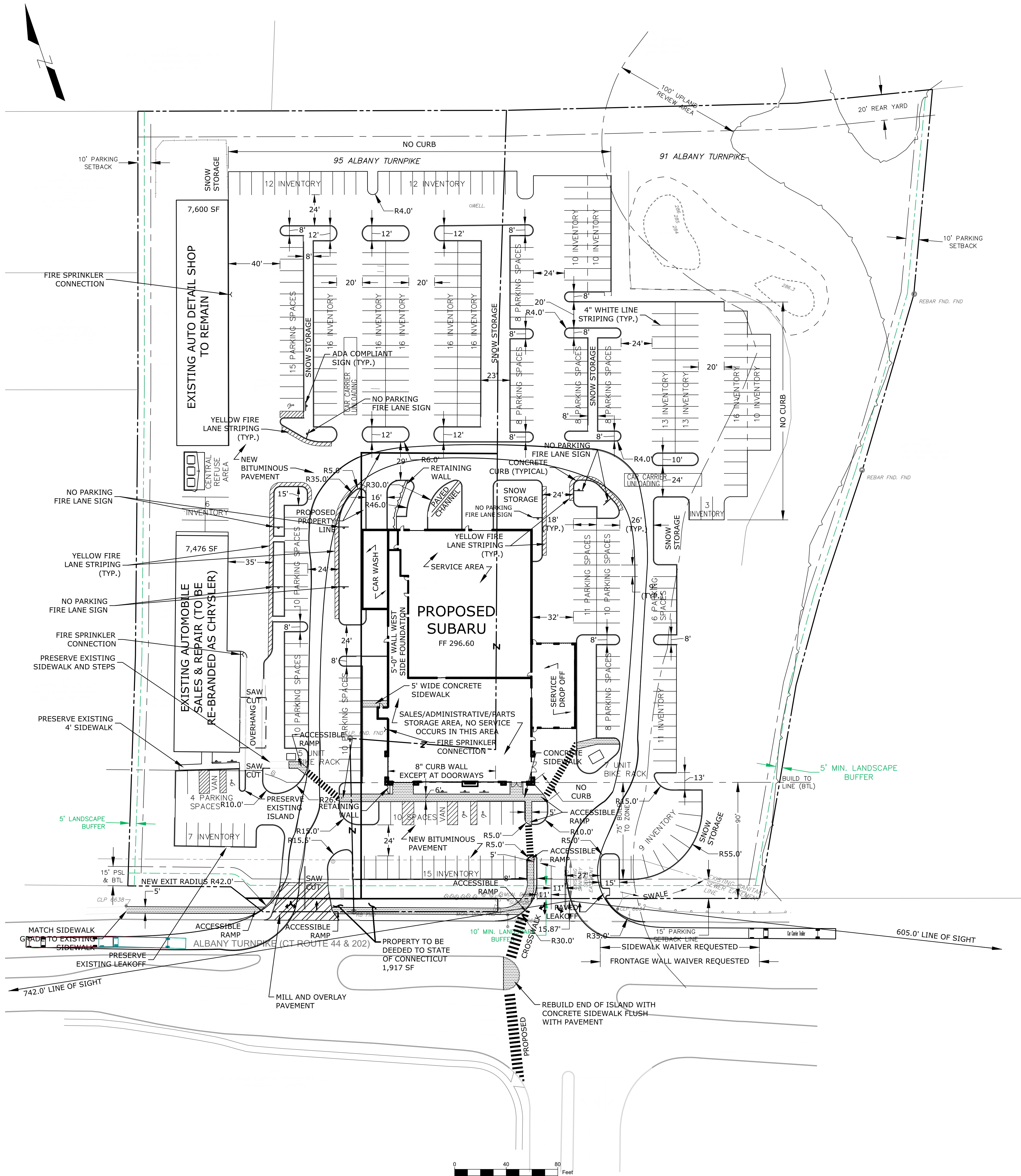
DEMOLITION PLAN
NEW SUBARU DEALERSHIP
MITCHELL AUTO GROUP
ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Glastonbury, CT 06033
(860) 659-3100
(860) 379-6669

Drawing #:
C-2

Job #:
20-105

10/26/2020 10:05 AM
K:\Users\JL105\OneDrive\Engineering\Design & Permitting for Mitchell Auto - Canton\Working Site Plan.dwg 4/22/2021 4:04 PM



ZONING TABLE		
ZONE: East Gateway Design Village District		
	Requirement	Lots 91 and 95 Combined
LOT AREA (EXISTING) --- Based on Min. Lot Width x Min. Lot Depth	12,250 SF	341,649 SF
LOT AREA (AFTER RECONFIGURATION)	12,250 SF	339,732 SF
LOT WIDTH (EXISTING RECONFIGURATION) --- BFS Item D	70 FT MIN. 200 FT MAX.	489.8 FT ⁽²⁾
LOT WIDTH (AFTER RECONFIGURATION) --- BFS Item D	70 FT MIN. 200 FT MAX.	489.8 FT ⁽¹⁾
LOT DEPTH --- BFS Item E	175 FT MIN.	610 FT +/-
BTZ/BTL --- BFS Item B	15 FT MIN. 90 FT MAX.	90 FT PROPOSED BLDG. 104.5 FT EXISTING BLDG.
SIDE YARD --- BFS Item F	None	30.0 FT ⁽²⁾
REAR YARD --- BFS Item C	20 FT	58.9 FT
PRIMARY STREET FACADE --- BFS Item H	50 % MIN.	69.88 %
AREA OF WETLANDS	N/A	0.36 Acres
GROSS FLOOR AREA	N/A	//////////
GROUND FLOOR	N/A	40,076 SF
SECOND FLOOR	N/A	9,190 SF
BUILDING COVERAGE (PROPOSED CONDITION)	N/A	11.8 %
IMPERVIOUS COVERAGE (PROPOSED CONDITION)	N/A	55 %
FACADE HEIGHT --- BFS Item J & K	Max. 4 Story/60 FT Min. 2 Story/24 FT	2 STORY/30 FT
CLEAR WALKWAY WIDTH --- BFS Item P	5 FT MIN.	5 FT
PARKING SETBACK FRONT --- BFS Item A	15 FT	15.2 FT
INVENTORY SETBACK FRONT --- Zoning Regulation 7.1.D.1	10 FT	
PARKING SETBACK SIDE --- Zoning Regulation 7.2.D.3.b	10 FT	
INVENTORY SETBACK SIDE --- Zoning Regulation 7.1.D.2	5 FT	34.0 FT
PARKING SETBACK REAR --- Zoning Regulation 7.2.D.3.b	10 FT	
INVENTORY SETBACK REAR --- Zoning Regulation 7.1.D.2	5 FT	47.3 FT

⁽¹⁾ Measured at Street Frontage
⁽²⁾ Existing Condition

OPEN SPACE CALCULATIONS	
Based on Combined Lots	
PRIVATE OPEN SPACE --- BFS Item G	
Private Open Space Requirement	10% of Buildable Area
Buildable Area	Area Behind BTL (90')
Buildable Area	272,783 SF
Private Open Space Area Provided	102,763 SF
Private Open Space Percent Provided	37.7 %
PARKING LOT GREEN SPACE --- Zoning Regulation 7.1.E.1	
Parking Green Space Requirement	10% of Parking Area
Parking Area	Perimeter of Paved Area
Parking Area	176,497 SF
Green Space Area Provided	29,300 SF
Green Space Percent Provided	16.6 %

PARKING CALCULATIONS --- Zoning Regulation 7.2.C			
LOT	USE	REQUIRED	PROVIDED
91	Automobile Dealership		
	3 Spaces per Service bay plus 1 Space per 2 Employees	16 bays x 3 = 48 Spaces 50 employees x 0.5 = 25 Spaces	77 Spaces
95	Automobile Dealership		
	3 Spaces per Service bay plus 1 Space per 2 Employees	7 bays x 3 = 20 Spaces 14 Employees x 0.5 = 7 Spaces	34 Spaces
Accessory Building (Detail Shop)			
Sufficient to Accommodate Employees, Patrons, etc.		11 Spaces	15 Spaces
Combined Lots		111 Spaces	126 Spaces
Per Zoning Regulation 7.2.C.3		94-128 Spaces	126 Spaces

PARKING AND INVENTORY BREAKDOWN --- Zoning Regulation 7.2.D.3.d	
TOTAL PARKING SPACES	126 Spaces
ALL SPACES ARE 9'x18' EXCEPT ADA SPACES (ZONING REGULATION 7.2.D)	
Number of Spaces in Front of Buildings	14 Spaces
Percent of Parking Spaces in Front of Buildings	11.1 %
Total Vehicle Inventory	227 Spaces
Number of Vehicle Inventory in Front of Buildings	31 Spaces
Percent of Vehicle Inventory in Front of Buildings	13.7 %

WETLANDS CALCULATIONS	
Total Area of Wetlands	15,721 SF
Total Area of Upland Review Area	68,536 SF
Area of Wetlands Disturbed	0 SF
Area of Upland Review Disturbed	25,575 SF

TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____

REFERRAL ☐

APPROVED ☐

CONDITIONS ☐

DATE _____

SIGNED _____ CHAIRMAN

Designed By: _____
Drawn By: _____
Checked By: _____

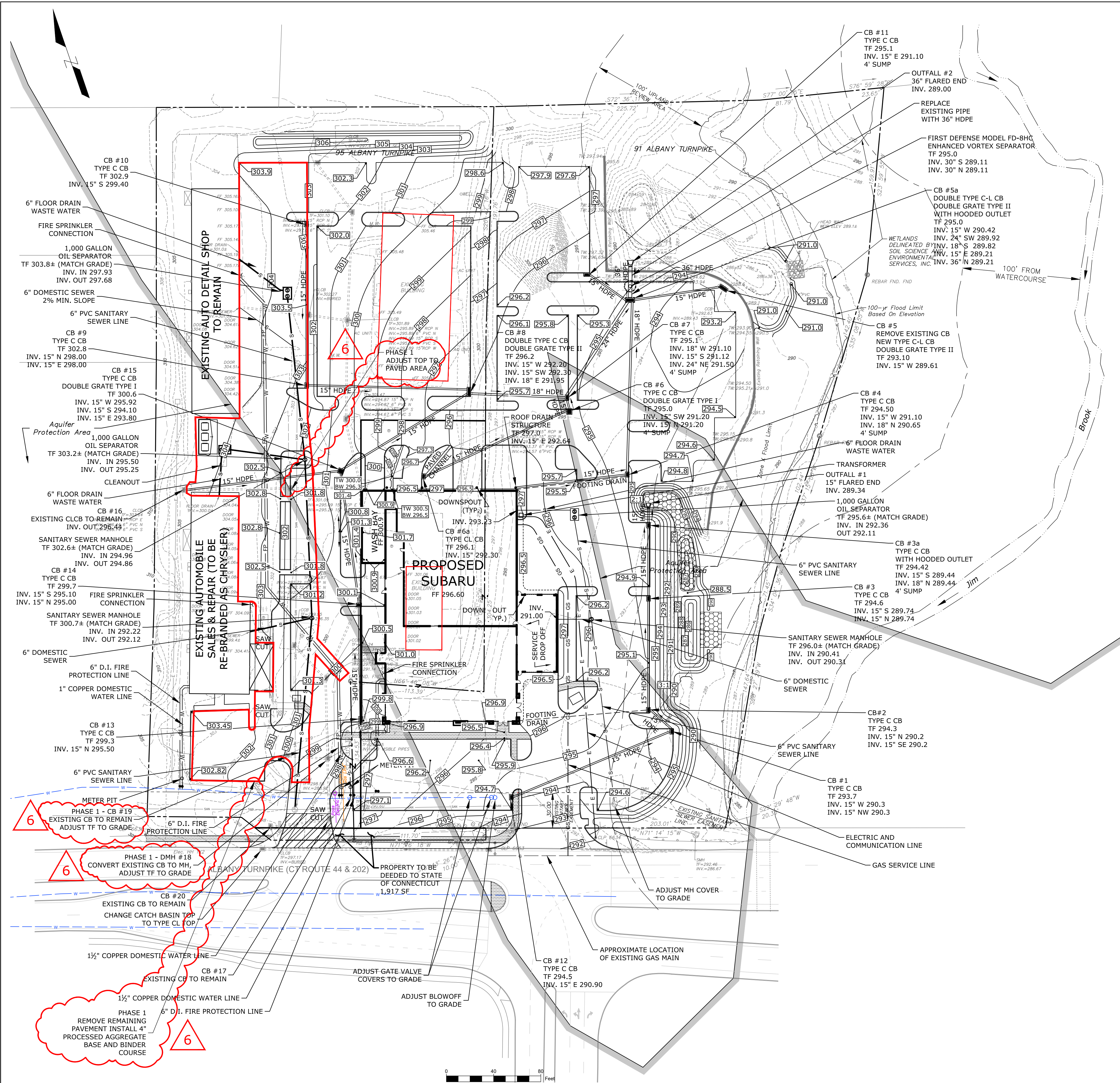
October 20, 2020

Rev. 1 11/30/2020 Water Co. Comments
2 12/01/2020 Site Entrance, Building Doorway Locations
3 01/12/2021 Respond to Town Comments
4 02/10/2021 Respond to GZA Comments
5 04/13/2021 Lane Markings, GZA Comments, Delete Signs
6 04/21/2021 Phasing

SITE LAYOUT PLAN
NEW SUBARU DEALERSHIP
MITCHELL AUTO GROUP
ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Gastonbury, CT 06039
(860) 659-3100

Drawing #: C-3
Job #: 20-105



TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____

REFERRAL ☐
APPROVED ☐
CONDITIONS ☐

DATE _____

SIGNED _____ CHAIRMAN

Designed By: _____
Drawn By: _____
Checked By: _____

10/26/2020

Rev.	Date	By	Revision
1	11/30/2020	JS	Water Co. Comments
2	12/01/2020	JS	Site Entrance, Building Doorway Locations
3	01/12/2021	JS	Respond to Town Comments
4	02/10/2021	JS	Respond to Town Comments
5	04/13/2021	JS	Lane Markings, GZA Comments, Delete Signs
6	04/21/2021	JS	Phasing

Drawing date: October 26, 2020

SITE UTILITIES PLAN

NEW SUBARU DEALERSHIP

MITCHELL AUTO GROUP

ALBANY TURNPIKE (ROUTE 44 & 202)

CANTON, CONNECTICUT

Lenard Engineering, Inc.

Civil, Environmental and Hydrogeological Consultants

2210 Main Street
Glastonbury, CT 06033
(860) 659-3100

Drawing #: C-4

Job #: 20-105

GENERAL NOTES

- The Contractor shall call Call-Before-You-Dig at 800-922-4455 for marking of utilities prior to any excavation.
- Contractor will encounter various existing subsurface sewage disposal system tanks and leaching fields during construction of the new water and sewer connections. Prior to abandonment of any hollow components (e.g. septic tanks, pump chambers, leaching chambers) Contractor shall empty the contents and dispose of same at a publicly owned treatment works (POTW) in accordance with the requirements of the Connecticut Public Health Code, Section 19-13-B103c. Thereafter, Contractor shall completely remove all hollow components and lawfully dispose of the same at an offsite location of the Contractor's choice. Any voids remaining after construction of the new water and sewer connections shall be filled with gravel and compacted to the satisfaction of Engineer. Contractor may excavate through stone-filled trenches for construction of the new water and sewer connections; however, Contractor shall plug all distribution pipes encountered with concrete.

WATER SUPPLY NOTES

- All water line construction shall comply with the standards and specifications for the Connecticut Water Company.
- The property owner and/or contractor shall complete all required applications, pay connection charges, and coordinate all required inspections with the Connecticut Water Co. prior to, during, and after installation of the water lines.
- Connecticut Water Company shall perform the tap for the new water services and shall provide materials for the tap. The Contractor is responsible for all excavation, restoration, bedding and backfill, traffic control, shoring, and any road opening permits.

SANITARY SEWER NOTES

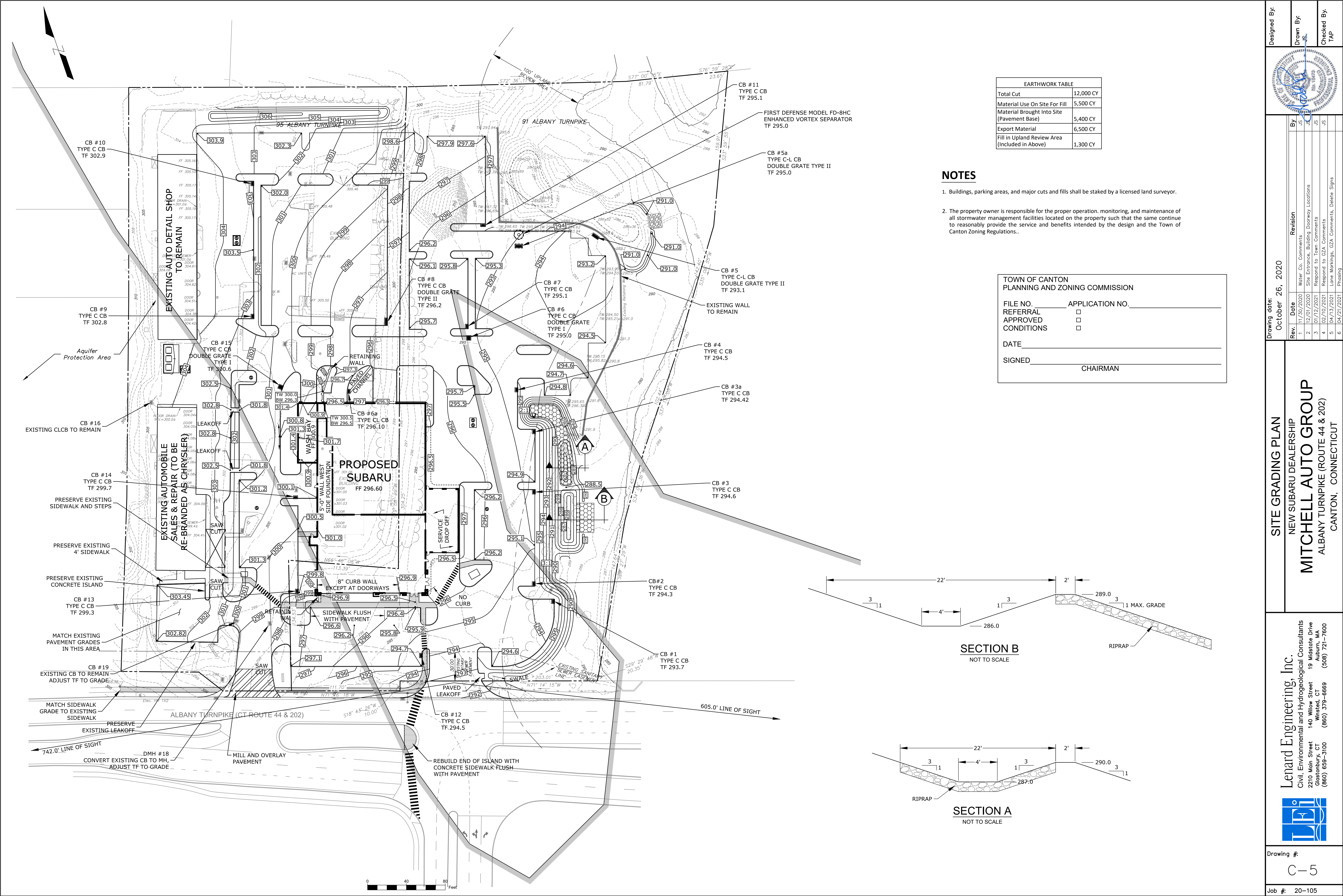
- All sanitary sewer construction shall comply with the standards and specifications for the Canton Water Pollution Control Authority (WPCA).
- The property owner and/or contractor shall complete all required applications, pay connection charges, and coordinate all required inspections with the Canton WPCA prior to, during, and after installation of the sewer lines.
- No 90-degree elbows and no chimneys or drops can be used in the installation of the lateral sewer lines.
- All sewer appurtenances on private property are the responsibility of the property owner and NOT the Canton WPCA. Sewer users shall be responsible for maintaining sewer service laterals from the building to the mainline sewer pipe. The Canton WPCA is responsible for MAIN LINE sewers only.

DRAINAGE SYSTEM NOTES

- All catch basins shall have 2-foot sumps except where called for on the plan. See Note 2.
- Catch basins 3a, 4, 7, and 11 shall have 4-foot sumps.
- Catch basins 3a and 5a shall have hooded outlets.

PHASE 1 - NOTE:
Domestic water, fire service, and sanitary
sewer to proposed Chrysler and detail
shop are completed

6



EARTHWORK TABLE	
Total Cut	12,000 CY
Material Use On Site For Fill	5,500 CY
Material Brought Into Site (Pavement Base)	5,400 CY
Export Material	6,500 CY
Fill in Upland Review Area (Included in Above)	1,300 CY

NOTES

- Buildings, parking areas, and major cuts and fills shall be staked by a licensed land surveyor.
- The property owner is responsible for the proper operation, monitoring, and maintenance of all stormwater management facilities located on the property such that the same continue to reasonably provide the service and benefits intended by the design and the Town of Canton Zoning Regulations..

TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____

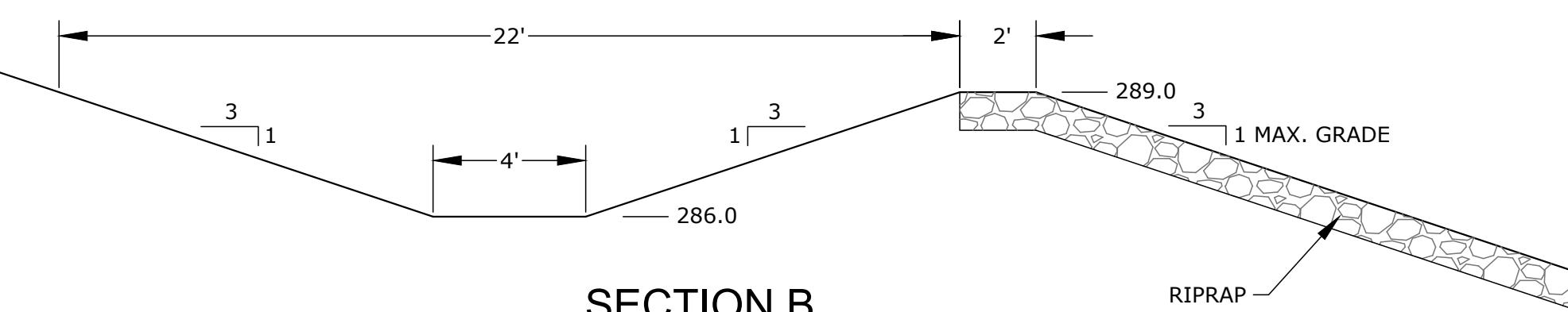
REFERRAL ☐

APPROVED ☐

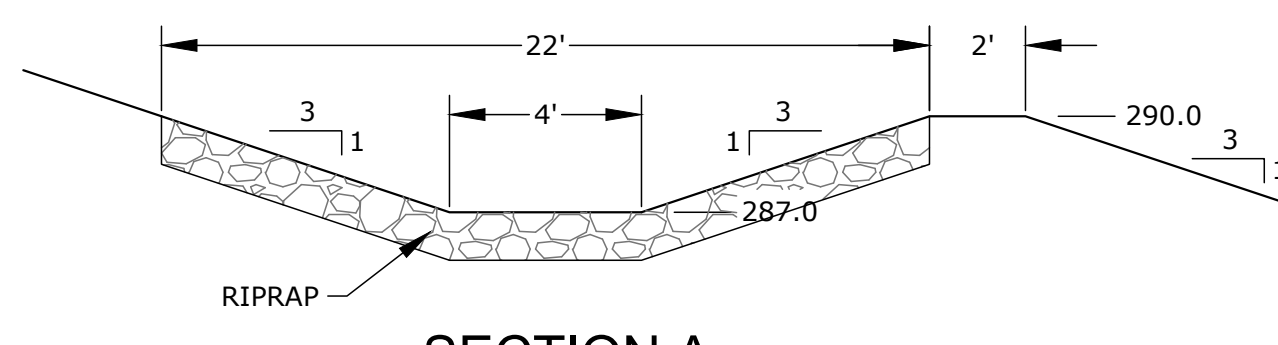
CONDITIONS ☐

DATE _____

SIGNED _____ CHAIRMAN



SECTION B
NOT TO SCALE



SECTION A
NOT TO SCALE

Designed By: _____
Drawn By: _____
Checked By: _____

Rev.	Date	By	Revision
1	11/30/2020	JS	Water Co. Comments
2	12/01/2020	JS	Site Entrance, Building Doorway Locations
3	01/12/2021	JS	Respond to Town Comments
4	02/10/2021	JS	Respond to GZA Comments
5	04/13/2021	JS	Lane Markings, GZA Comments, Delete Signs
6	04/21/2021	JS	Phasing

SITE GRADING PLAN

October 26, 2020

NEW SUBARU DEALERSHIP

MITCHELL AUTO GROUP

ALBANY TURNPIKE (ROUTE 44 & 202)

CANTON, CONNECTICUT

Lenard Engineering, Inc.

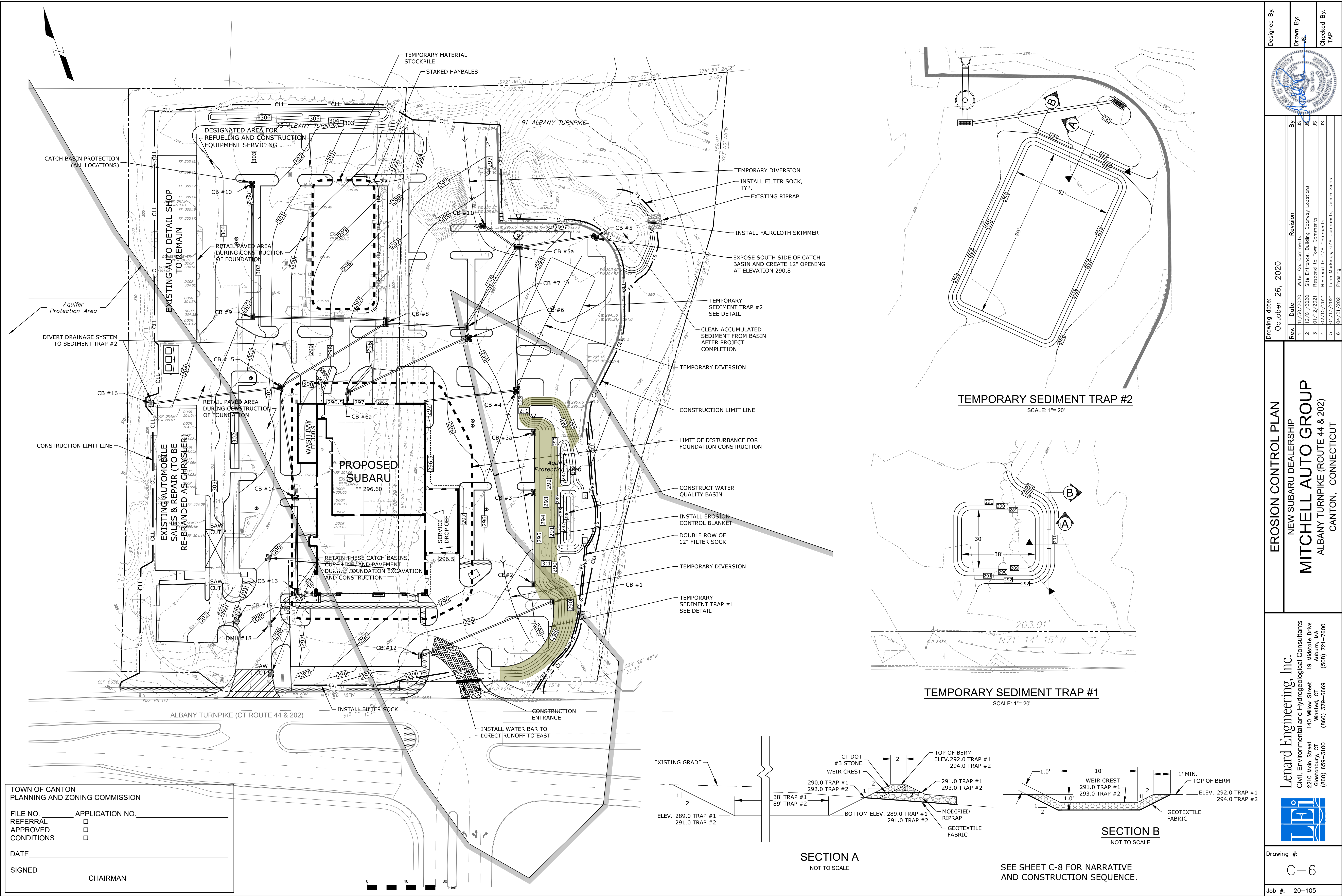
Civil, Environmental and Hydrogeological Consultants

2210 Main Street
Glastonbury, CT 06033

(860) 659-3100

Drawing #: C-5

Job #: 20-105



TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____

REFERRAL ☐

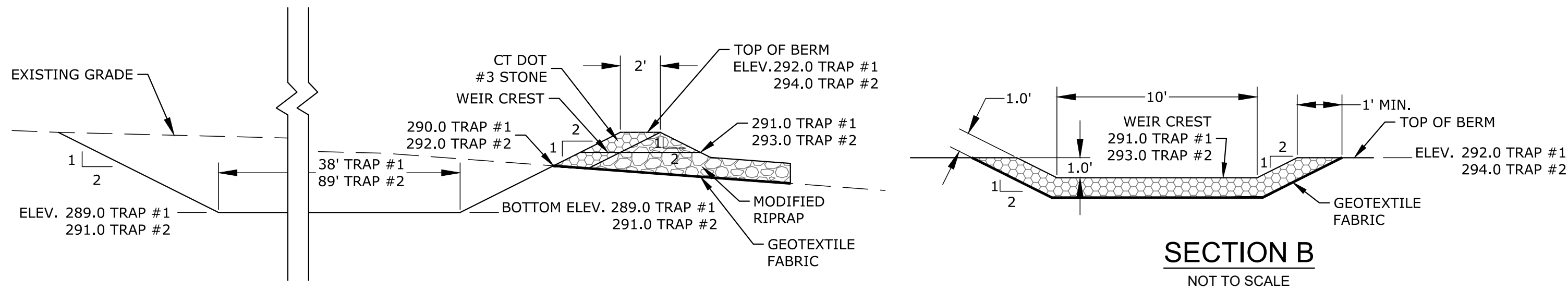
APPROVED ☐

CONDITIONS ☐

DATE _____

SIGNED _____ CHAIRMAN

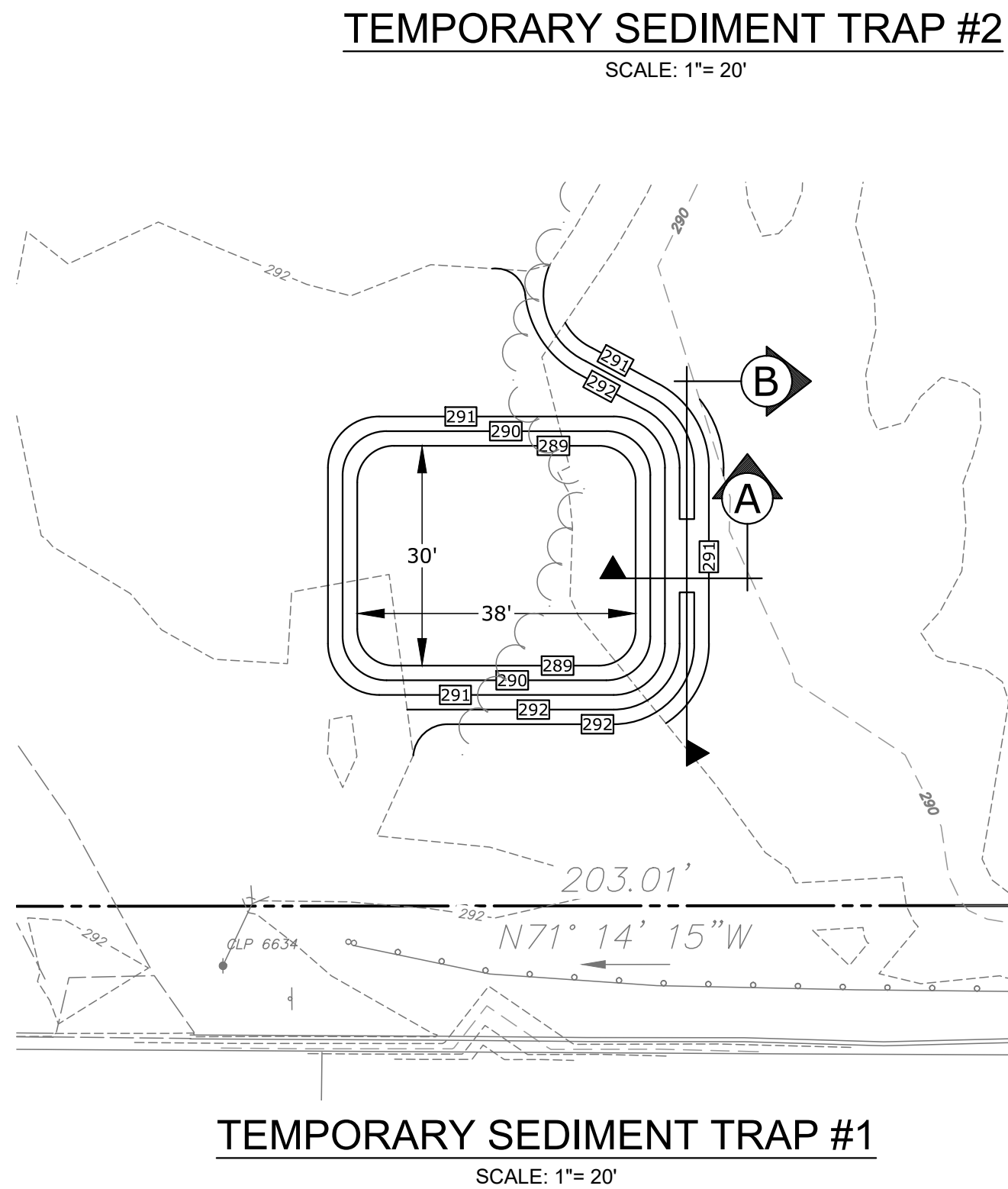
0 40 80 Feet



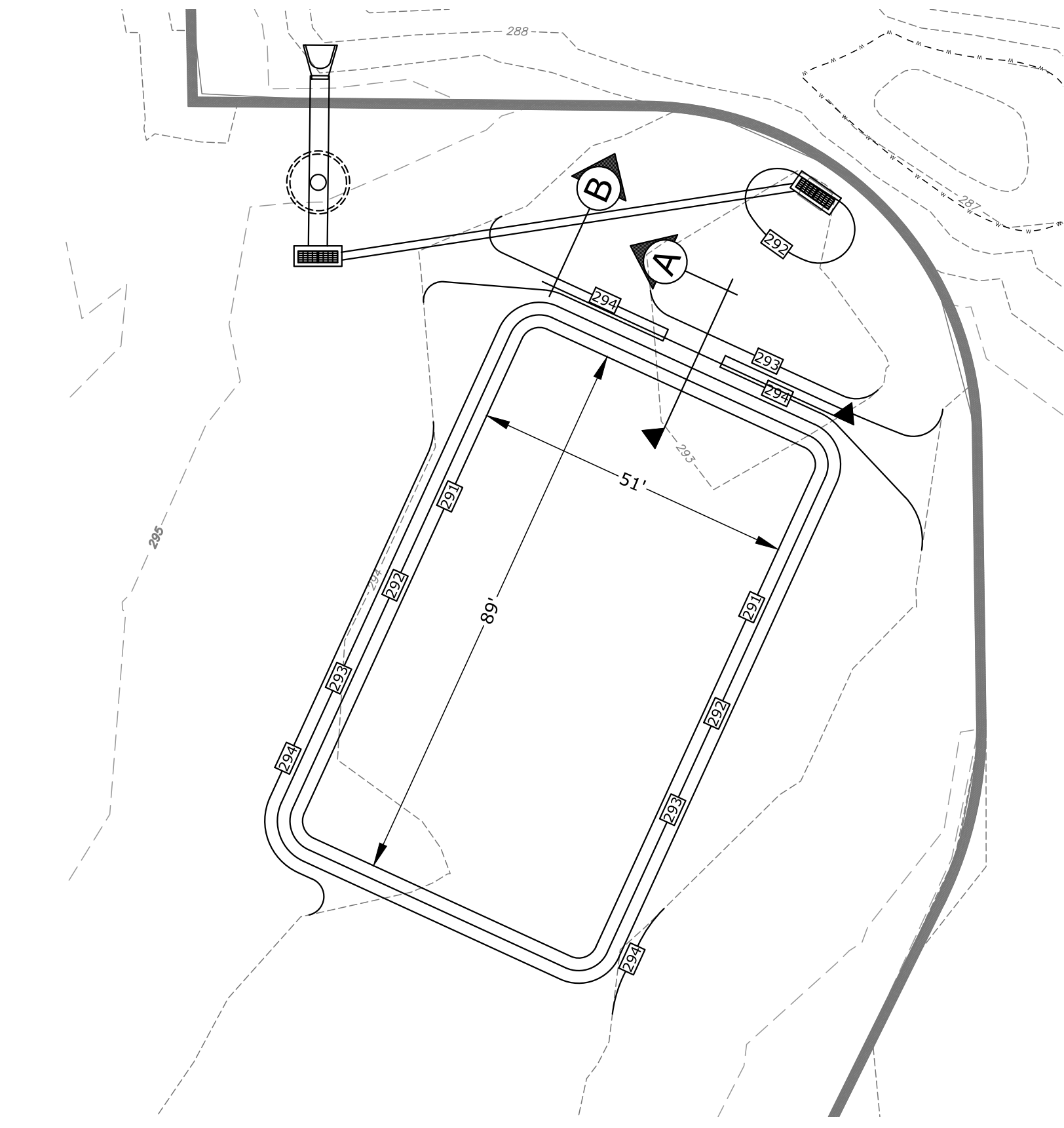
SECTION A
NOT TO SCALE

SECTION B
NOT TO SCALE

SEE SHEET C-8 FOR NARRATIVE
AND CONSTRUCTION SEQUENCE.



TEMPORARY SEDIMENT TRAP #1
SCALE: 1"= 20'



TEMPORARY SEDIMENT TRAP #2
SCALE: 1"= 20'

Designed By:

By: J.S.
Date: 11/30/2020
Revision: Water Co. Comments
2 12/01/2020 Site Entrance, Building Doorway Locations
3 01/12/2021 Respond to Town Comments
4 02/10/2021 Respond to GZA Comments
5 04/13/2021 Lane Markings, GZA Comments, Delete Signs
6 04/21/2021 Phasing

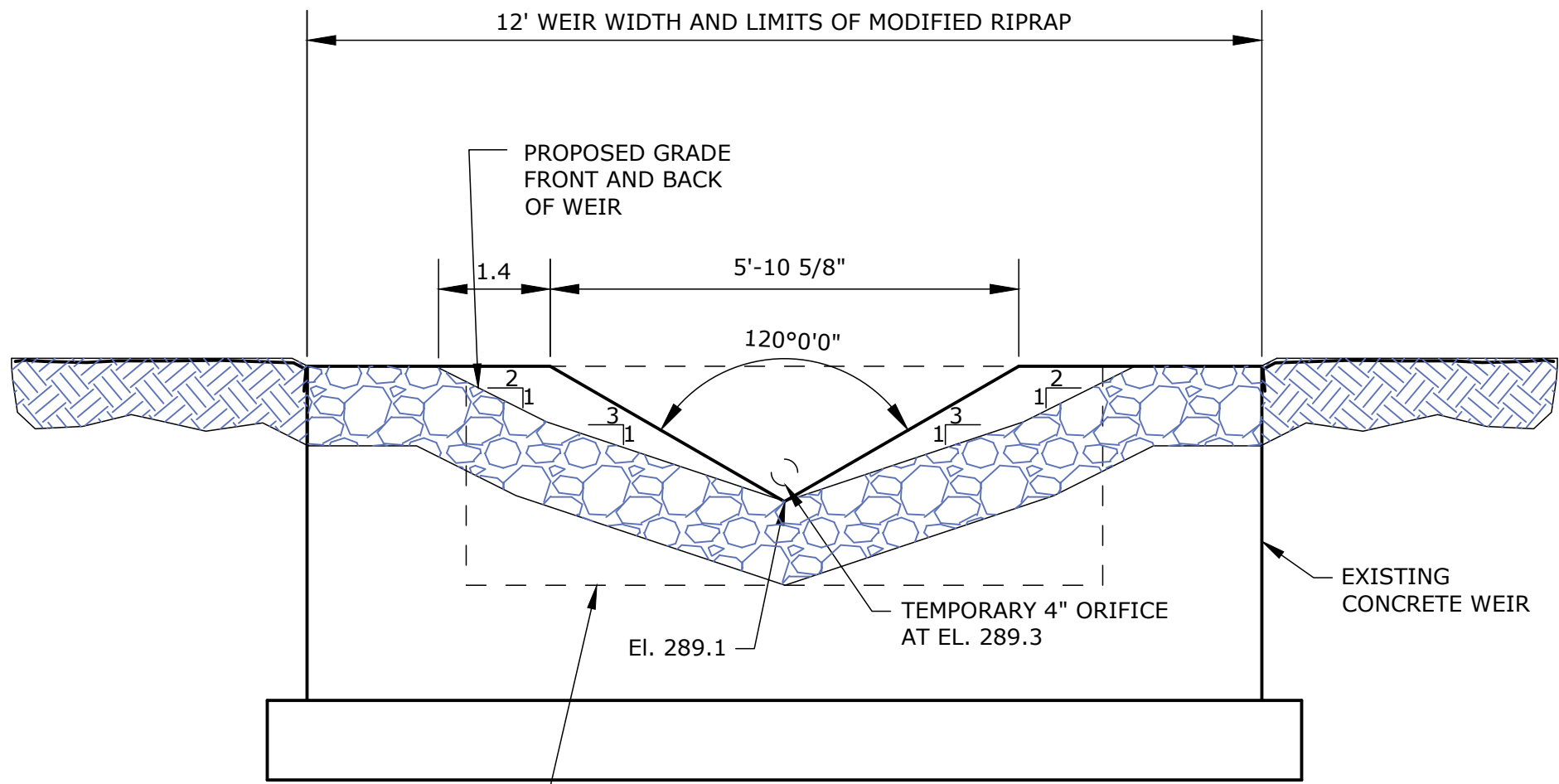
Drawing date:
October 26, 2020

EROSION CONTROL PLAN
NEW SUBARU DEALERSHIP
MITCHELL AUTO GROUP
ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Glastonbury, CT 06033
(860) 659-3100
(860) 379-6669

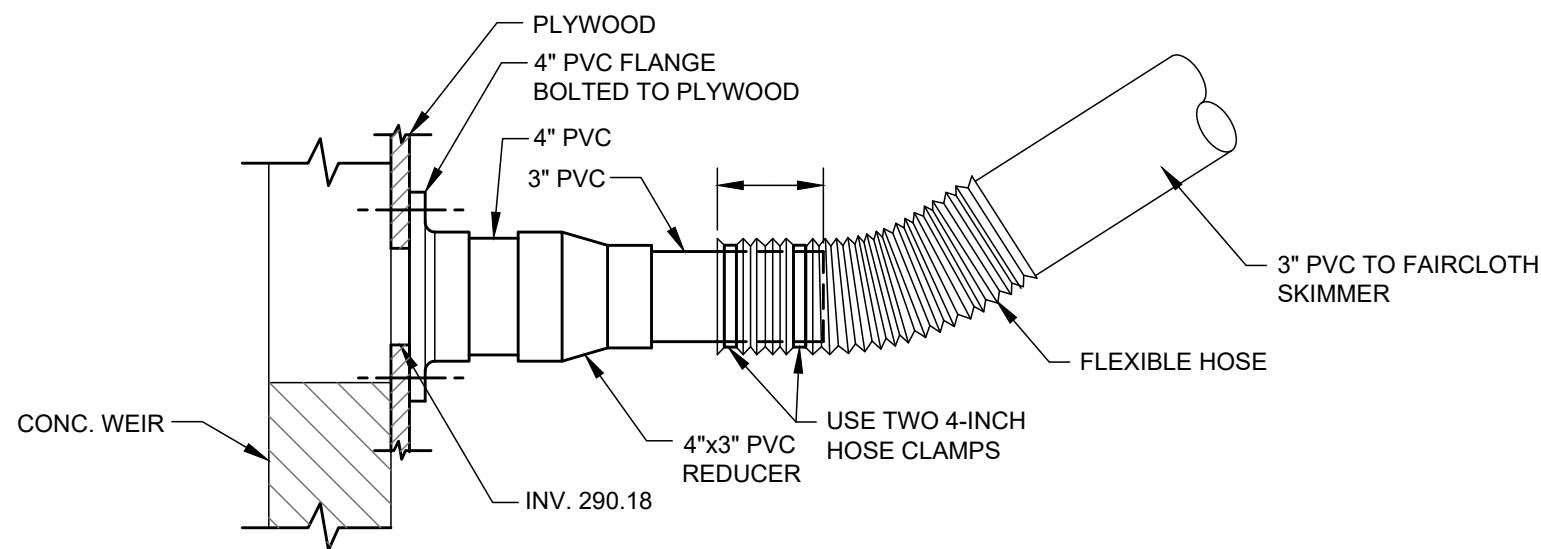
Drawing #:
C-6

Job #:
20-105



FOR TEMPORARY SEDIMENT CONTROL,
BLOCK OFF WEIR WITH 3/4\"/>

EXISTING STORMWATER BASIN OUTLET
NOT TO SCALE



CONNECTION DETAIL OF FAIRCLOTH SKIMMER TO OUTLET STRUCTURE
NOT TO SCALE

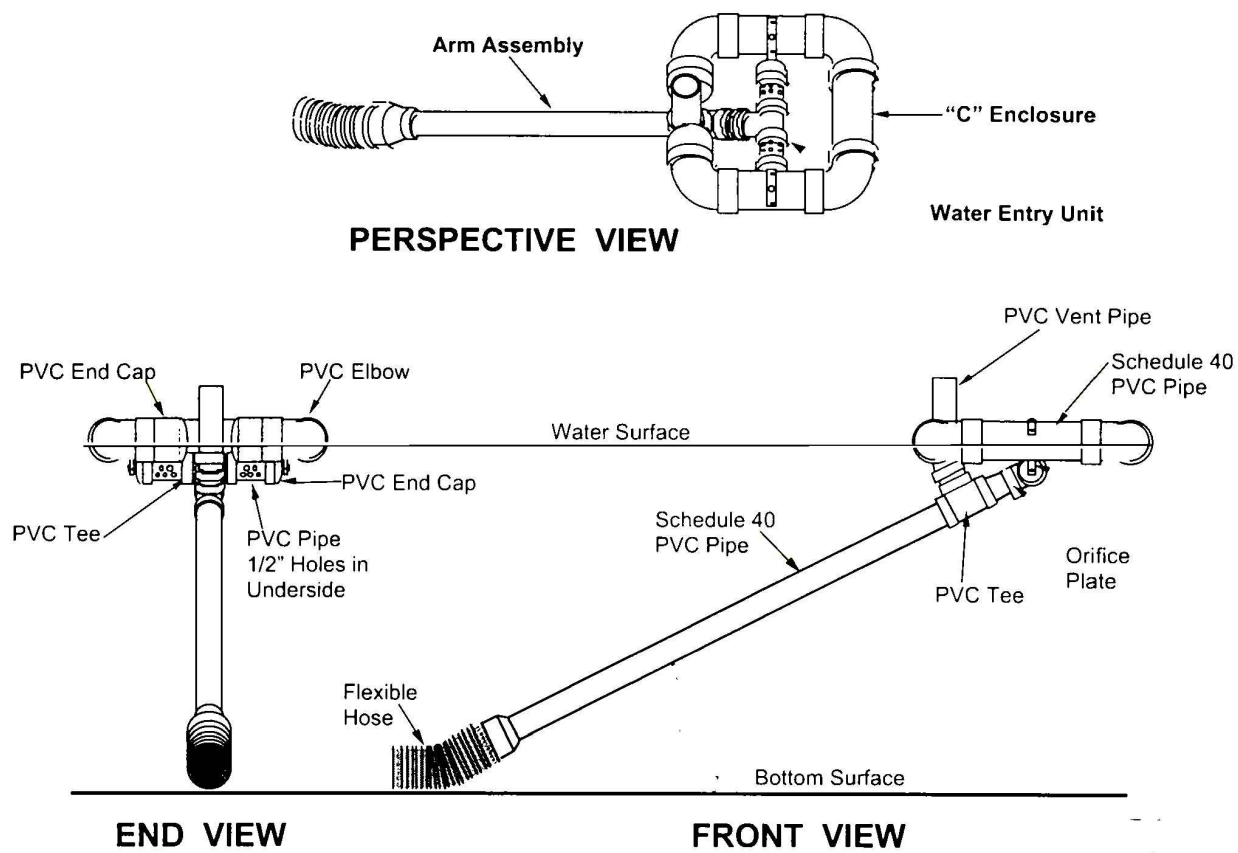
NOTES:

- The Faircloth Skimmer is a proprietary product, U.S. Patent # 5,820,751, and can be purchased by contacting:

J. W. Faircloth and Son Inc.
Post Office Box, 757
Hillsboro, North Carolina 27278
- Telephone/Fax (919)-732-1244
- Skimmer size shall be: 3" with a 3" hole.

The contractor shall familiarize himself with the proper installation, operation, and maintenance of the Faircloth Skimmer, and shall make adjustments as necessary to detain sediment laden water as long as practical without releasing such water prematurely or endangering the embankment.

Contractor shall use suitable connection devices and fittings to connect skimmer to outlet pipe.



TEMPORARY SEDIMENTATION BASIN OUTLET – FAIRCLOTH SKIMMER

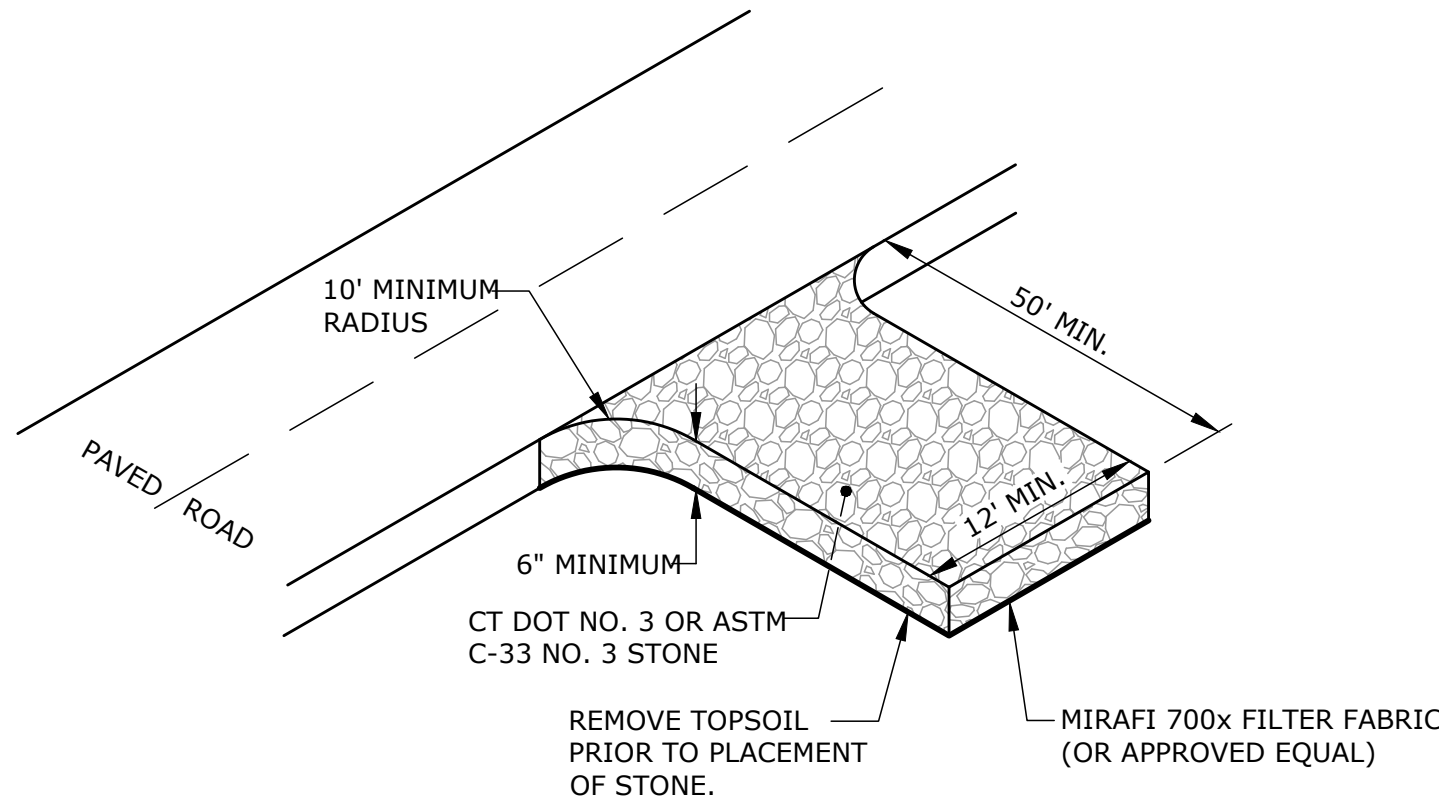
NOT TO SCALE

TOWN OF CANTON
PLANNING AND ZONING COMMISSION

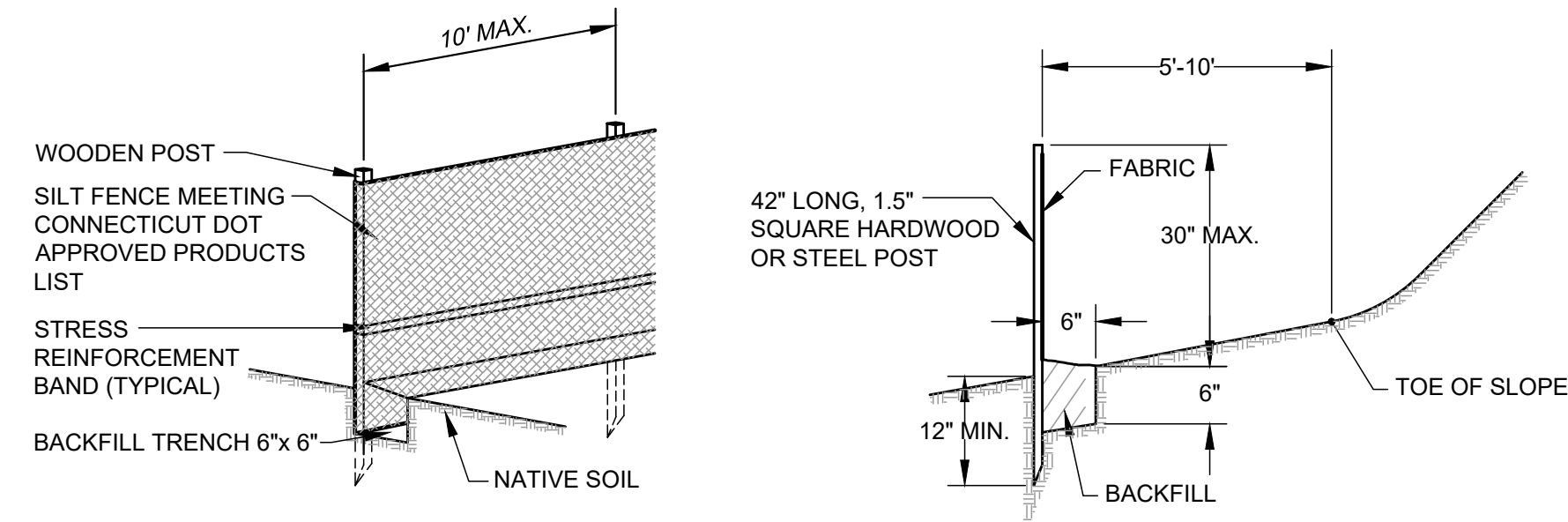
FILE NO. _____ APPLICATION NO. _____
REFERRAL ☐
APPROVED ☐
CONDITIONS ☐

DATE _____

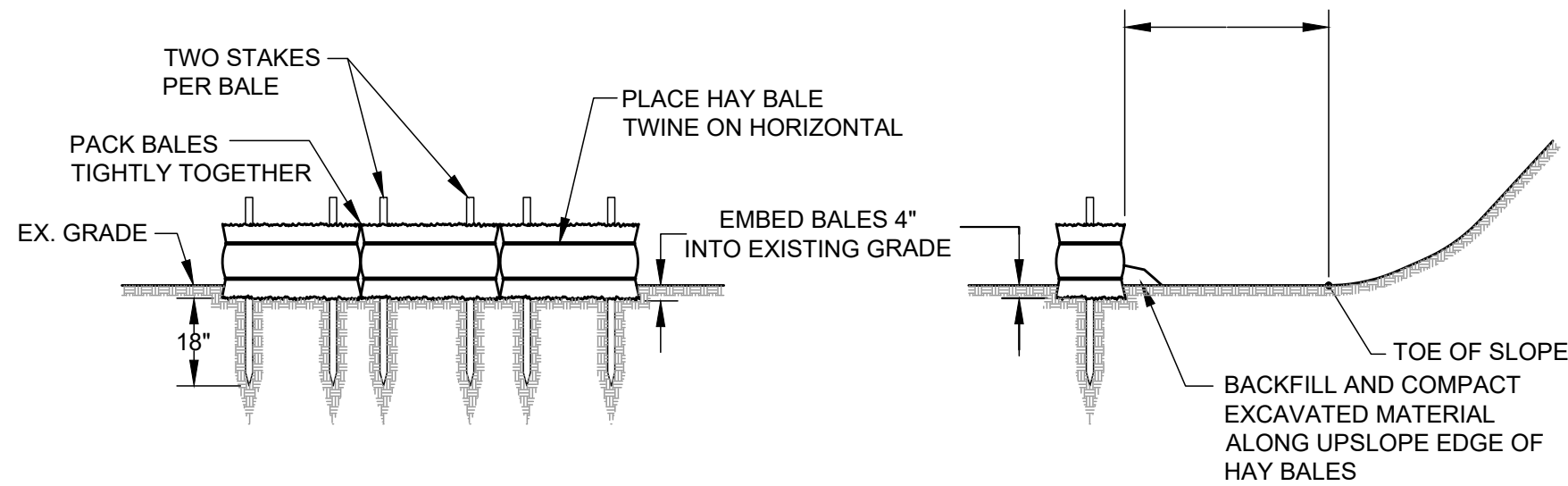
SIGNED _____
CHAIRMAN



CONSTRUCTION ENTRANCE
NOT TO SCALE



SILT FENCE
NOT TO SCALE

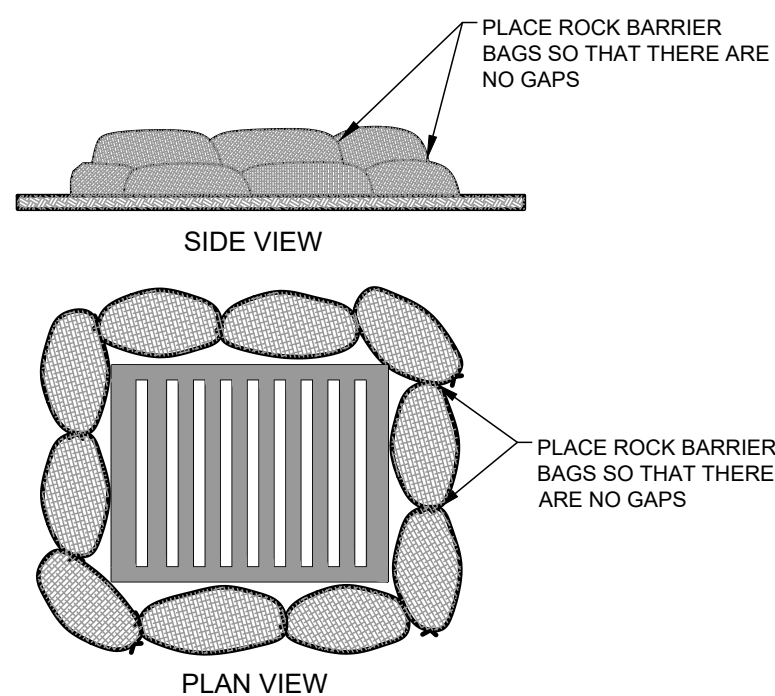


HAY BALE BARRIER
NOT TO SCALE

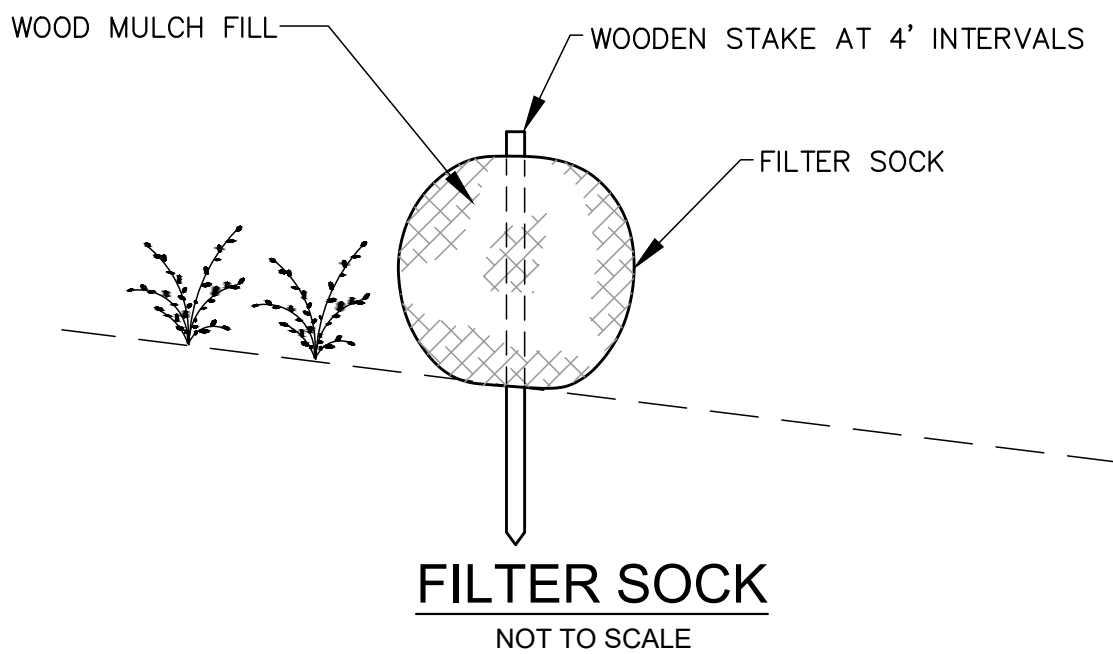
NOTES:
1-INCH ROCK CONTAINED IN PERVIOUS BURLAP BAGS APPROXIMATELY 24 INCHES LONG, 12 INCHES WIDE AND 6 INCHES HIGH.

ROCK BARRIER BAGS CAN BE A SINGLE OR DOUBLE LAYER.

IF A DOUBLE LAYER OF ROCK BARRIER BAGS ARE USED, THE TOP BAGS MUST BE PLACED SUCH THAT NO GAPS ARE EVIDENT WITH THE LOWER LAYER OF BAGS.



CATCH BASIN PROTECTION
NOT TO SCALE

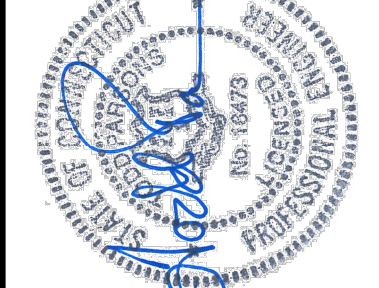


FILTER SOCK
NOT TO SCALE

Designed By:

Drawn By:

Checked By:



Rev.	Date	Revision
1	11/30/2020	Water Co. Comments
2	12/01/2020	Site Entrance, Building Doorway Locations
3	01/12/2021	Respond to Town Comments
4	02/10/2021	Respond to GZA Comments
5	04/13/2021	Lane Markings, GZA Comments, Delete Signs
6	04/21/2021	Phasing

Drawing date:
October 26, 2020

EROSION CONTROL DETAILS

NEW SUBARU DEALERSHIP

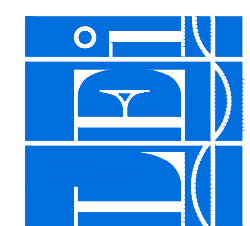
MITCHELL AUTO GROUP

ALBANY TURNPIKE (ROUTE 44 & 202)

CANTON, CONNECTICUT

Lenard Engineering, Inc.

Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Gastonbury, CT 06039
(860) 659-3100



Drawing #:

C-7

Job #: 20-105

SOIL EROSION AND SEDIMENT CONTROL PLAN NARRATIVE

1. INTRODUCTION AND PERMIT COMPLIANCE

Pursuant to Connecticut P.A. 83-388, this project requires a Soil Erosion and Sediment Control Plan and Narrative. This narrative describes the minimum measures required to control soil erosion during and after construction of the sitework shown on this plan. The soil erosion and sediment control measures shown on this plan are designed in accordance with a document entitled "Connecticut Guidelines for Soil Erosion and Sediment Control" published by the Connecticut Council on Soil and Water Conservation in 2002. The Contractor may be required to implement additional measures to prevent site erosion and sedimentation of downstream waterways.

The Contractor is required to obtain copies of, and comply with the conditions of all permits for this project, including but not limited to:

- Municipal Inland Wetlands Permit
- Municipal Approval of the Erosion Control Plan
- Municipal Planning & Zoning Permit

The Contractor's activities and operations include all site work and work incidental to the project including, but not limited to haul roads, waste and disposal areas, staging areas, and field offices. If any of his activities require approvals above and beyond those already accounted for by the Owner's permits, the Contractor shall apply for and obtain such permits prior to conducting those operations. If incidental work such as haul roads, waste and disposal areas, staging areas, and field offices are not shown on the plans, and require additional erosion control, the Contractor shall provide such controls.

2. PROJECT DESCRIPTION AND SITE CHARACTERISTICS

The project involves construction of a new car dealership. The total site area is 7.84 acres and the total site disturbance is 4.9 acres. Runoff from the site ultimately reaches Jim Brook on the east side of the site. Specific construction activities include:

- Building demolition
- Tree clearing
- Utility construction
- Site grading
- Storm drainage construction
- Building construction
- Installation of paved areas, curbing, and sidewalks
- Site stabilization with seeding
- Installation of landscape plantings

The site is comprised of two parcels with a total of approximately 7.8 acres. There are four existing buildings on the western parcel. The majority of the western parcel is paved or occupied by buildings. The total impervious coverage is 2.4 acres under existing conditions. The remainder of the site is primarily a lawn area that has been used to store cars for a nearby car dealership. There is a brook and associated wetland corridor along the eastern boundary of the site. Most of the wetland areas are wooded. There is a regulated flood plain associated with the brook. Soil types in the non-wetland areas are primarily Hydrologic Soil Group B. Soil types along the eastern side of the property in the wooded areas are primarily Hydrologic Soil Group C. The site is comprised of two plateaus separated by a short steep hill. The slope of the plateaus is in the range of 2% to 4%. The hill has a slope of approximately 15% to 20% and a grade difference of approximately seven feet.

3. CONSTRUCTION SEQUENCING

Phase 1: To begin in fall of 2020 and continue into the spring of 2021

1. Confirm approvals for water and sewer connections for Lot 95 are in place. (already complete)
2. Install water and sewer connections to Building 95-A and 95-B.(already complete)
3. Install haybales or filter sock around any material stockpiles for Phase 1 work.
4. Install catch basin protection in Phase 1 area.
5. Install processed aggregate base and binder course of pavement over utility lines and areas adjacent to Buildings 95-A and 95-B where shown on the plans.
6. Confirm demolition permits are in place for building demolition on Lot 95.
7. Install staked haybales or silt fence downhill of Buildings 95-C and 95-D. Demolish Buildings 95-C and 95-D.
8. Remove all demolition debris from the site.
9. Remove catch basin protection from Phase 1 area.
10. Remove erosion control around stockpile areas after stockpiles are removed.

Phase 2: To begin in spring of 2021 and take 8 to 10 months

11. Confirm all Zoning, Inland Wetlands, and Building permits are in place.
12. Confirm approvals for water and sewer connections for new building are in place.
13. Hold preconstruction conference.
14. Stake clearing limits.
15. Install construction entrance. Install a water bar across the construction entrance to direct runoff to the east, away from Route 44.
16. Cut trees. Do not remove stumps.
17. Install filter socks around the site perimeter where shown on the plans.
18. Cut vegetation in existing water quality basin but do not disturb ground surface.
19. Install new Faircloth Skimmer at exit to water quality basin.
20. Construct Sediment Trap #1 and temporary diversion to Sediment Trap #1.
21. Construct new water quality basin. Remove junk and debris from this area and dispose of properly.
22. Install drainage system from new pipe outlet at existing water quality basin to CB 5A to Existing CB 5.
23. Construct Sediment Trap #2 and temporary modifications to CB#5.
24. Construct temporary diversions directed to Sediment Trap #2.
25. Retain paved areas on west side of site during foundation construction. Store materials and equipment on paved areas to maximum extent possible. Retain portion of drainage system as shown on plans.
26. Divert remaining drainage system to Temporary Sediment Trap #2.
27. Excavate for new building foundation.
28. Construct building foundation.
29. Perform rough grading of the remainder of the site.
30. Install drainage system and other utilities to the building.
31. Install catch basin protection measures.
32. Bring site to final grade. Sediment Traps and Faircloth Skimmer are removed at this time.
33. Install pavement and sidewalks.
34. Stabilize remaining areas with topsoil, seed, and plantings.
35. Install erosion control blanket where shown on plans.
36. Maintain perimeter controls until site is stabilized.
37. Remove perimeter controls after the site is fully stabilized.

4. RESPONSIBILITY

4.1 RESPONSIBILITIES OF OWNER/PERMITEE

The Owner/Permittee is 91 Albany Turnpike, LLC and Mitchell Farmington Valley, LLC, c/o Mitchell Auto, 384 Hopmeadow Street, Simsbury, CT 06070, Phone 860-490-6226. The Owner/Permittee shall:

- A. Provide the Contractor with copies of land-use permits that Owner has acquired.
- B. Inform all parties involved with the proposed site work of this plan's objectives and requirements.

4.2 RESPONSIBILITIES OF CONTRACTOR

The Contractor is PDS Engineering & Construction, Inc. 107 Old Windsor Road, Bloomfield, CT 06002, Phone 860-242-8586. The Contractor is responsible for preventing erosion of the site and for protecting adjacent waterways from sedimentation. The Contractor shall:

- A. Install, monitor, and maintain the soil erosion and sediment control measures as shown on this plan.
- B. Comply with all permit requirements.
- C. Provide the Owner, Engineer, and the municipality with 24 hour phone numbers in the event of an emergency at the site.

5. PRECONSTRUCTION CONFERENCE

The Contractor shall initiate a preconstruction conference with the Permittee, Owner-of-record, Contractor, Engineer, and a municipal representative to review the proposed soil erosion and sediment control measures.

6. DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES

6.1 TEMPORARY STABILIZATION MEASURES

Temporary Grass Cover:

Provide temporary grass cover where indicated on the plans or where temporary land grading will be unaltered for more than one month but less than 12 months. The Contractor shall loosen the soil to a depth of two inches before seeding. If existing soil is not capable of growing grass, the Contractor shall spread at least two inches of topsoil over the loosened surface. If seeding commences during the summer or early autumn, the annual or perennial ryegrass seed shall be used. If seeding commences in spring or late autumn, the winter ryegrass seed shall be used. Seeding rates shall be 5 lbs./1000 sq. ft. Hay mulch shall be spread at the rate of 100 lbs./1000 sq. ft. The Contractor shall irrigate the grass until an acceptable stand of grass is established.

Haybale Barrier:

Install haybale barriers as shown on the plans and details. Embed the haybale barriers into the ground, pack them tightly together, and firmly stake them, as shown on the details. Remove sediment once levels have reached 1/4 of the effective bale-height. Repair and/or replace the haybales immediately, if damaged or deteriorated.

Filter Sock:

Install an erosion control filter sock of the size shown in the detail where shown on plans. Remove surface rocks or other obstacles that prevent close contact with the ground surface and firmly stake it as shown on the details. Remove sediment once levels have reached 1/4 the effective barrier height. Repair and/or replace the barrier immediately if damaged or deteriorated. Do not drive construction equipment over the sock.

Stockpiling or Storage of Excavated Materials:

Completely surround all temporary (2-4 weeks) material stockpiles with haybales or silt fence to prevent transportation of sediment. Seed stockpiles that will remain for a longer duration with a quick-growing rye grass.

Erosion Control Blanket:

Install Erosion Control Blanket (aka fabric slope protection) on the sloping areas shown on the plan. The Contractor shall select a fabric from the Connecticut Department of Transportation's Approved Product List. The fabric shall meet the requirements of *Class I Type D Slope Protection*. The fabric shall be installed in accordance with the manufacturers instructions and guidelines. The Contractor shall maintain the fabric until a stand of grass, acceptable to the Owner, is established.

Temporary Mulch:

Mulch all disturbed areas with hay or straw at the rate of 2 tons per acre. Spread mulch by hand or mulch blower to provide a uniform distribution. Anchor the mulch by tracking with tracked construction equipment so cleat marks are parallel to the contour. Mulch nettings, applied in accordance with the manufacturer's recommendations, may be used as an alternate to tracking. Restore any areas where mulch is washed away or blown away by the wind.

This activity shall be used to stabilize areas where construction is suspended during the winter months. Once the appropriate dates for seeding are reached, the Contractor shall complete the seeding operations.

Dust Control:

Take precautions to prevent dust from becoming a nuisance to abutting property owners. Broom off pavements adjoining the excavation on a daily basis. Cover and/or keep all earth stockpiles moist at all times. Use calcium chloride to control dust over certain areas of the site, as directed by the Engineer or shown on the plans. Calcium chloride shall conform to ASTM D-98, Type I. The Contractor shall maintain and inspect, on a daily basis, the adequacy of dust control measures and correct any deficiencies immediately.

Temporary Trench Paving:

Use temporary paving to prevent erosion of the excavated trench. Place temporary pavement prior to the end of the working day and after the completion of backfill operations. The Contractor shall maintain and repair temporary bituminous pavement surfaces in a safe condition.

6.2 TEMPORARY STRUCTURAL MEASURES

Catch Basin Protection, Bagged Stone:

Use bagged stone for protection of catch basins in a low point. Place bags of one-inch stone on all sides of the catch basins except where catch basins are bordered by curbing. Install bags as shown on the plans and details. Remove the sediment when it reaches 1/4 of the height of the barrier.

Temporary Sediment Basin:

Install a temporary sediment basin in the location shown on the plan. Construct the basin to the length, width and depth shown in the details. Remove sediment once levels reach 10 percent of the basin volume.

Temporary Diversion Channel:

Construct temporary diversion channels where indicated on the plans to protect work areas during construction. Keep the channels open and free of accumulated sediment during construction. Line the channel with stone, or other means, if necessary to prevent erosion. Repair channel lining immediately if damaged or deteriorated before the site is stabilized with paving and vegetation. Fill in temporary diversion channels following construction.

6.3 PERMANENT STABILIZATION MEASURES

Implement stabilization measure within three days of final grading.

Loam, Seed, and Mulch:

Follow the Landscape Architect's specifications and requirements for topsoil, seed, fertilizer, and mulch.

Landscape Plantings:

Provide plantings to control erosion, as indicated on the plans. This work includes furnishing and planting trees, shrubs, and groundcover plants of the types and sizes indicated on the drawings. The Contractor may also be required to: 1) furnish and place topsoil, 2) guy or stake trees or shrubs, 3) fertilize, 4) water, 5) prune, 6) spray, 7) install mulch, and 8) establish all groundcover prior to the end of the period of acceptance. The Contractor is responsible for the above activities until final acceptance by the Owner.

6.4 PERMANENT STRUCTURAL MEASURES (POST CONSTRUCTION STORMWATER MANAGEMENT)

Grass-Lined Drainage Swale:

Construct grass-lined drainage swales as shown on the drawings. Do not discharge runoff onto the swale until grass is established. Establishment measures may require temporary diversions, jute mesh, fertilizer, irrigation, and other management practices.

Protect the swales from erosion by vegetative means as soon after construction as possible and before diversions, run-offs, or other channels are discharged into them.

The Contractor's maintenance responsibilities include irrigation, mowing, cleaning of debris, cleaning of sediment, and replacement and/or repair of bare or eroded areas.

Land Grading:

Proposed grades are shown in detail on the plan.

In general, the Contractor shall properly stockpile earth, move it to fill areas, or export it from the site. Place and compact fill in shallow lifts, proceeding uphill from the toe area. Create large but shallow runoff collection areas at the end of each working day to help collect and prevent runoff from running down the fill face.

Bring all excavated, filled, or disturbed areas to final grade as soon as possible and stabilize areas with loam, seed and mulch immediately. Keep erosion control measures in place until the site is stabilized with pavement and/or vegetation.

Riprap Apron/Outlet Protection:

Construct outlet protection, in the form of a riprap apron, at storm sewer outfalls as shown on the plans and details. The aprons dissipate energy and reduce runoff velocity. Remove accumulated sediment from the apron after the site is stabilized with grass and/or pavement.

Permanent Water Quality Basins:

Construct permanent water quality basins where shown on the plans. Construct the basins according to the requirements shown on the plans and details. The basin will collect sediment over the long term before it leaves the site. During construction, remove sediment from the basin once levels have reached 10 percent of the basin volume.

6.5 OTHER CONTROLS

Waste Disposal:

Provide an adequate number of covered waste containers to ensure that no litter, debris, building materials, or similar materials are discharged to wetlands or watercourses. Instruct subcontractors to use the containers for waste material. Empty the containers promptly when full.

Construction Entrance:

Place clean washed stone (CONNDOT No.3 stone) at the site entrance(s) to the length, width and depth indicated on the plans and details to help remove mud and/or clods of soil from construction vehicles exiting from the site. Add stone as necessary to maintain adequate serviceability.

Pavement Maintenance:

The Contractor shall sweep paved roadways adjacent to the site on a routine basis to prevent tracking of mud onto public roadways and washing of mud into waterways. If the Contractor's schedule for cleaning the pavement is found to be inadequate by the Owner, Owner's Representative, or the municipality, the Contractor shall increase the frequency at no additional cost to the Owner.

Cleaning of Stormwater Structures:

Clean all stormwater structures, including, but not limited to pipes, swales, detention basins, sediment traps, and riprap aprons of sediment upon completion of the project.

7. DEWATERING

Construction Dewatering:

This item includes methods and equipment necessary to maintain, in a dry condition, any areas in which construction is to be conducted. These methods include pumping, draining, installing well-points and/or cofferdams. Whatever the methods or equipment used, dispose of the discharge water in such a manner to avoid pollution of existing watercourses, injury to persons or public or private property.

The Contractor shall develop a dewatering program designed to ensure that disposal of all dewatering wastewaters will not cause scouring or erosion or contain suspended solids in amounts which could reasonably be expected to cause pollution of wetlands or waterways. Discharge wastewaters in a manner which minimizes the discoloration of receiving waters.

The Contractor shall construct a shallow basin to collect dewatering wastewaters. The basin shall be of adequate capacity to permit infiltration of all dewatering wastewaters without overtopping.

8. GENERAL CONDITIONS

8.1 If erosion control measures are damaged by construction vehicles, acts of vandalism, or severe weather conditions, the Contractor shall immediately remove sediment in the vicinity of the erosion control measures and repair these measures to a functional condition.

8.2 If, during or after construction, it becomes apparent that existing erosion control measures are incapable of controlling erosion, the Owner, the Engineer, or the municipality may require additional control measures including, but not limited to: additional haybales, silt fence, sediment basins, or mechanically anchored mulch.

8.3 Refueling of equipment or machinery within 100 feet of any wetland or watercourse is prohibited.

8.4 No materials resulting from construction activities shall be placed in or allowed to contribute to the degradation of an adjacent wetland or watercourse. Disposal of any material shall be in accordance with Connecticut General Statutes, including, but not limited to, Sections 22a-207 through 22a-209.

8.5 Conduct work within or adjacent to watercourses during periods of low flow, whenever possible. The Owner shall remain aware of flow conditions during the conduct of such work, and shall cause such activity to cease should flow conditions threaten to cause excessive erosion, siltation or turbidity. The Contractor shall make every effort to secure the work site before predicted major storms. A major storm shall be defined as a storm predicted by NOAA Weather Service with warnings of flooding, severe thunderstorms, or similarly severe weather conditions or effects.

8.6 Stabilize all temporary fill to prevent erosion and to prevent sediment or other particulate matter from reentering a wetland or watercourse. Restore and revegetate all areas affected by temporary fills to their original contours or as directed by the Owner. Confine the extent of temporary fill or excavation to that area necessary to perform the work, as approved by the Owner.

8.7 Dumping of oil, chemicals or other deleterious materials on the ground is forbidden. The Contractor shall provide a means of catching, retaining, and properly disposing of drained oil, removed oil filters, or other deleterious material. All spills of such materials shall be reported immediately by the Contractor to the DEP.

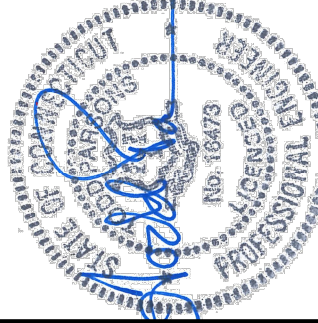
8.8 No application of herbicides or pesticides within 100 feet of any wetland or watercourse will be allowed. All such applications must be done by a Connecticut licensed applicator. The Contractor shall submit to the Owner the proposed applicator's name and license number, and must receive the Owner's approval of the proposed applicator, before such application is carried out.

TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____
REFERRAL ☐
APPROVED ☐
CONDITIONS ☐

DATE _____

SIGNED _____
CHAIRMAN

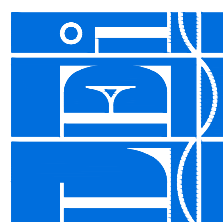
Designed By:	Drawn By:	Checked By:
	JS	TAP
		
Drawing date:	By	Revision
October 26, 2020		
	11/30/2020	Water Co. Comments JS
	12/01/2020	Site Entrance, Building Doorway Locations JS
	01/12/2021	Respond to Town Comments JS
	02/10/2021	Respond to GZA Comments JS
	04/13/2021	Lane Markings, GZA Comments, Delete Signs JS
	04/21/2021	Phasing JS

EROSION CONTROL NARRATIVE

NEW SUBARU DEALERSHIP
MITCHELL AUTO GROUP
ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Glastonbury, CT 06033
(860) 659-3100

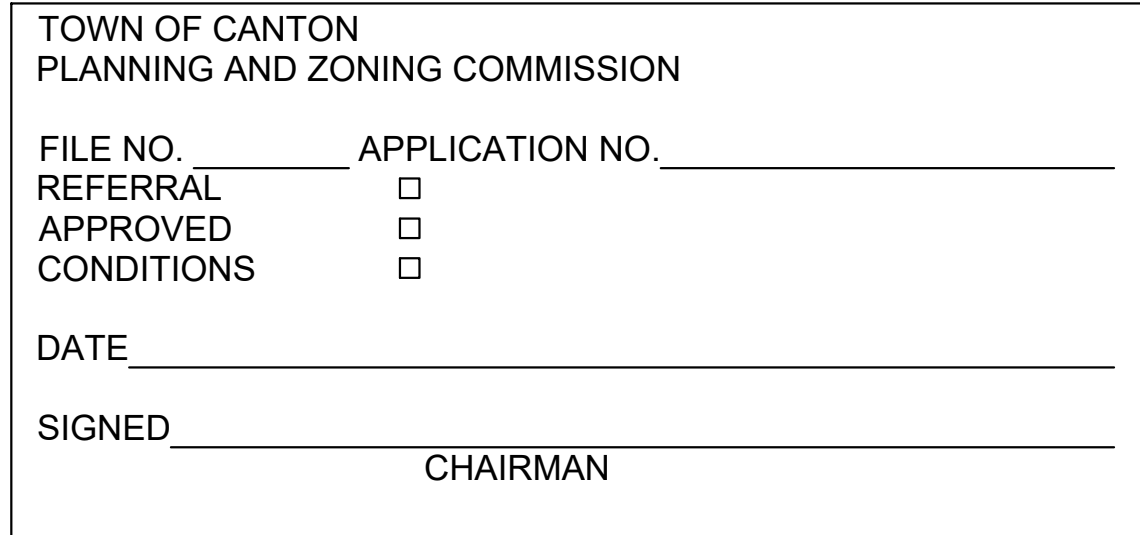
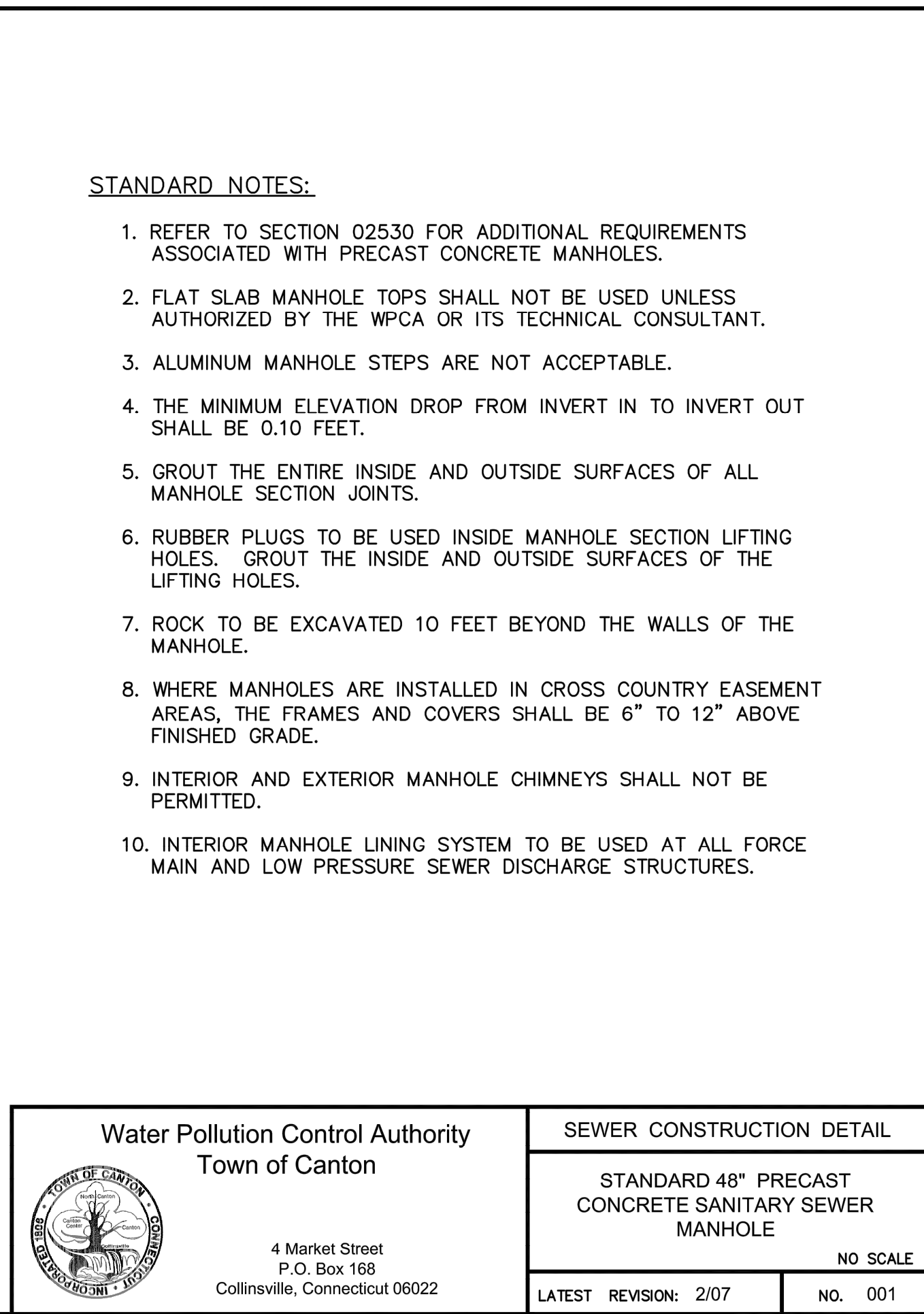
19 Midstate Drive
Auburn, MA 01501
(508) 721-7800



Drawing #:


C-8

Job #: 20-105



Rev.	Date	Revision	By
1	11/30/2020	Water Co. Comments	JS
2	12/01/2020	Site Entrance, Building Doorway Locations	JS
3	01/13/2021	Respond to Town Comments	JS
4	02/10/2021	Respond to GZA Comments	JS
5	04/13/2021	Lane Markings, GZA Comments, Delete Signs	
6	04/21/2021	Phasing	

Drawing date:
October 26, 2020



Designed By:

Drawn By:
US

Checked By:
TAP

SEWER DETAILS

NEW SUBARU DEALERSHIP


MITCHELL AUTO GROUP

ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Glastonbury, CT 06033
(860) 659-3100

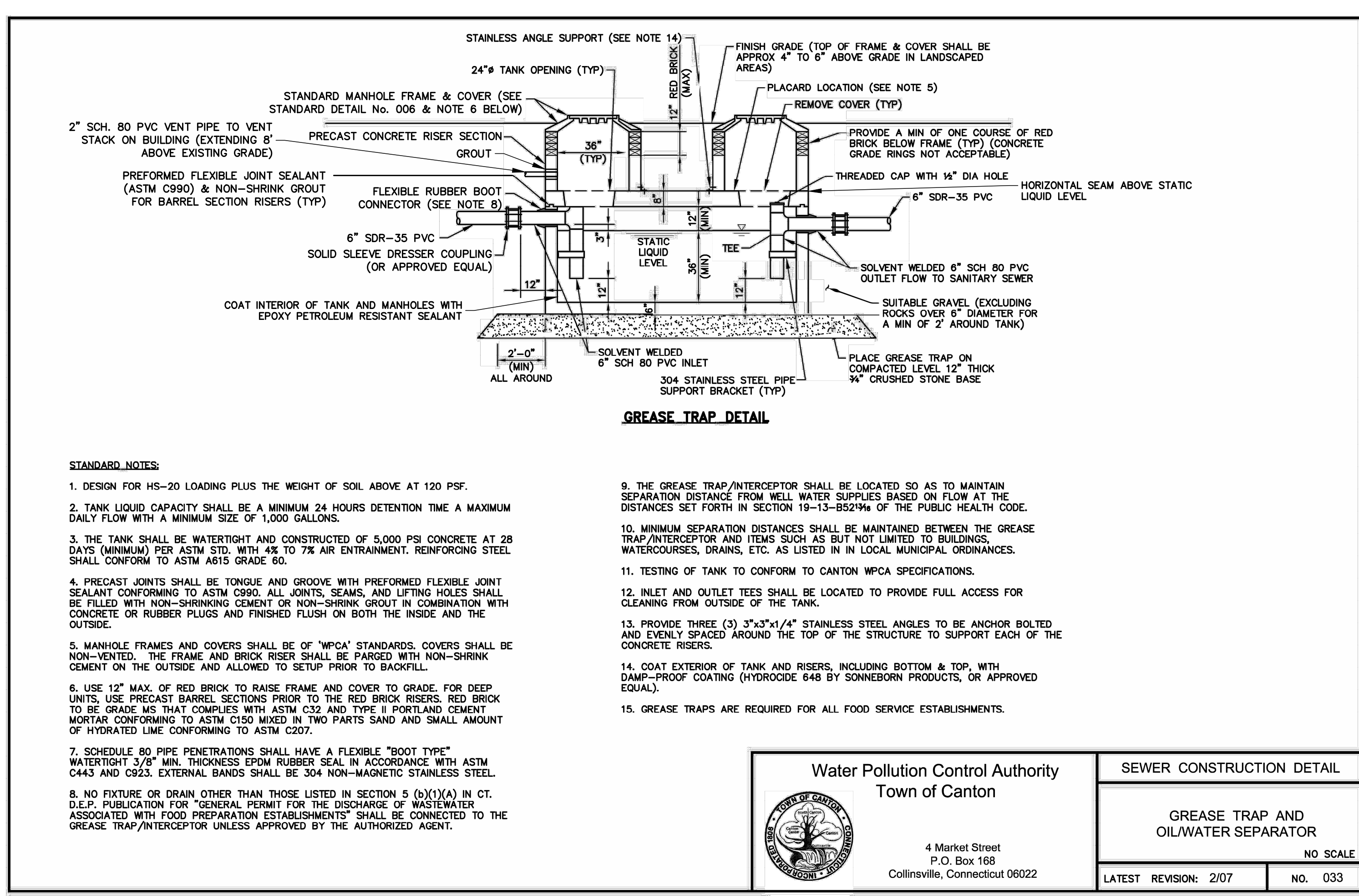
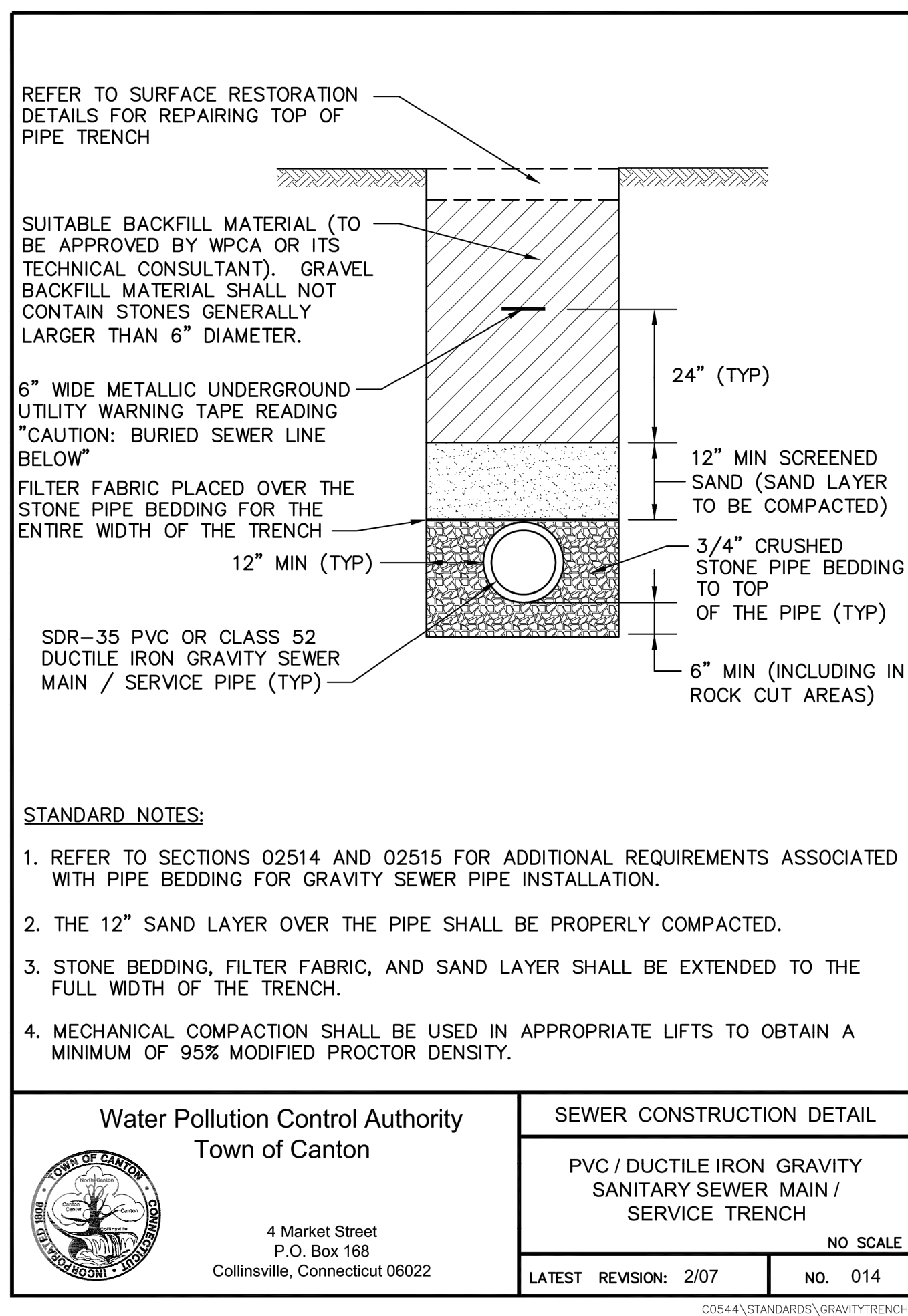
140 Willow Street
Windsor, CT 06095
(860) 379-6669

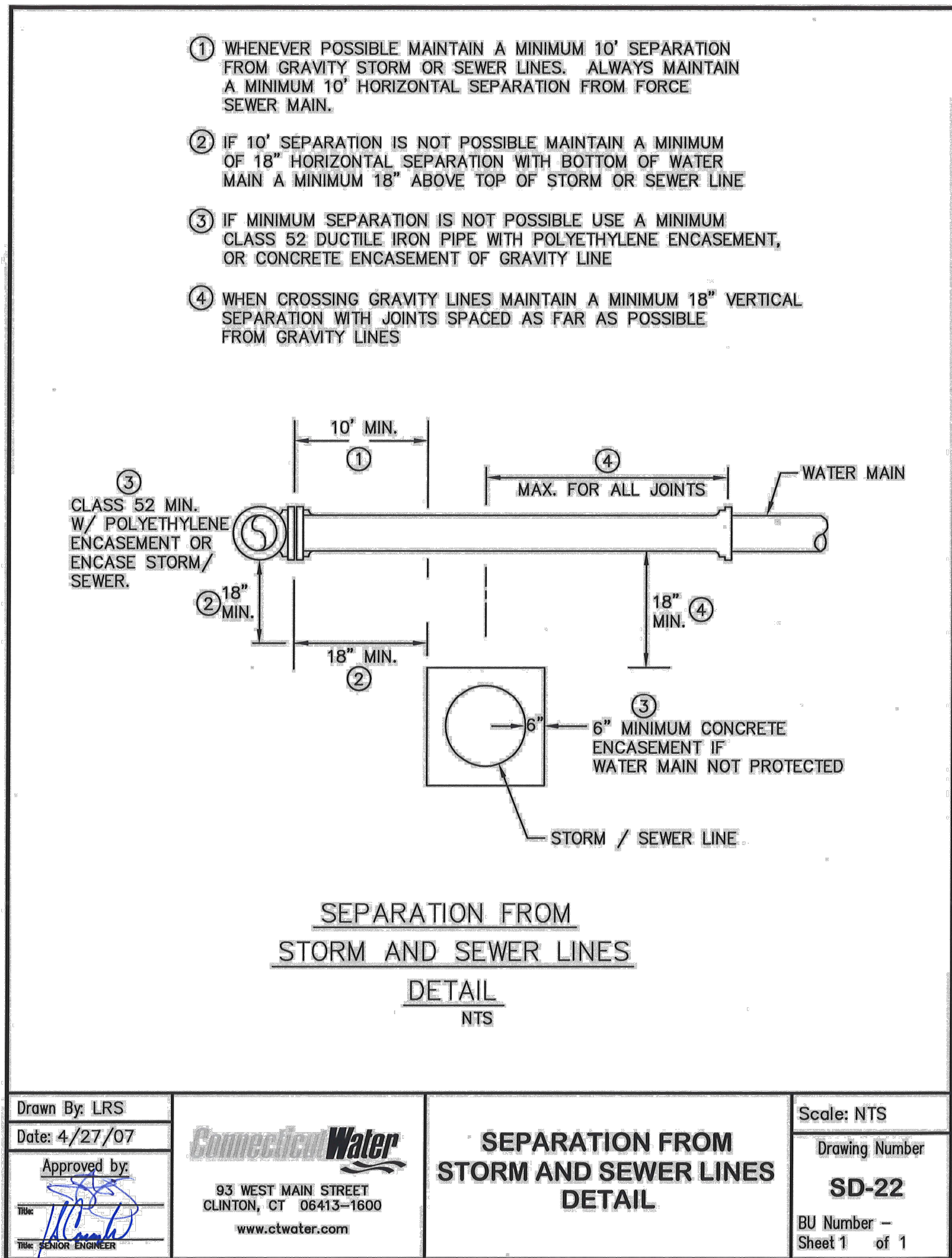
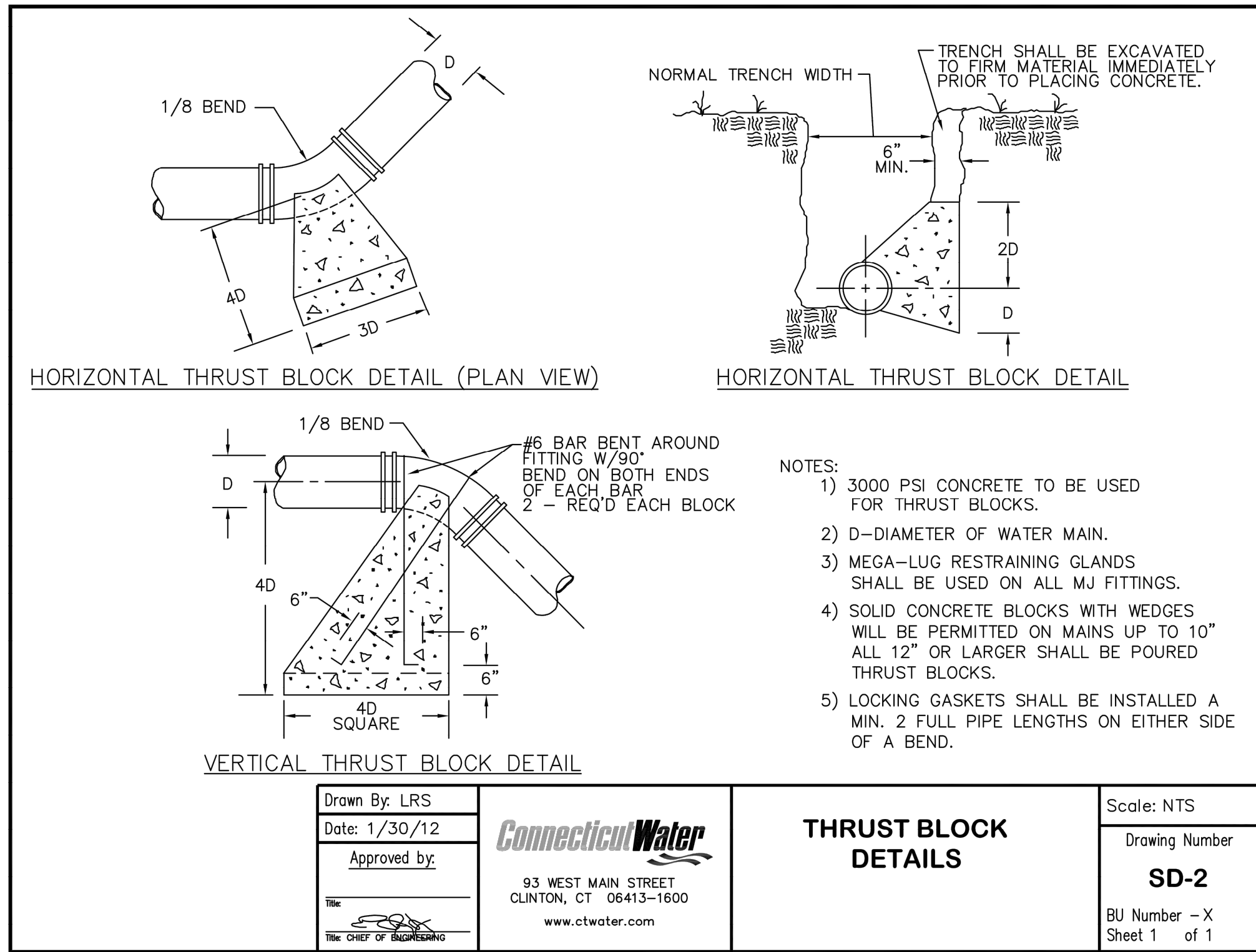
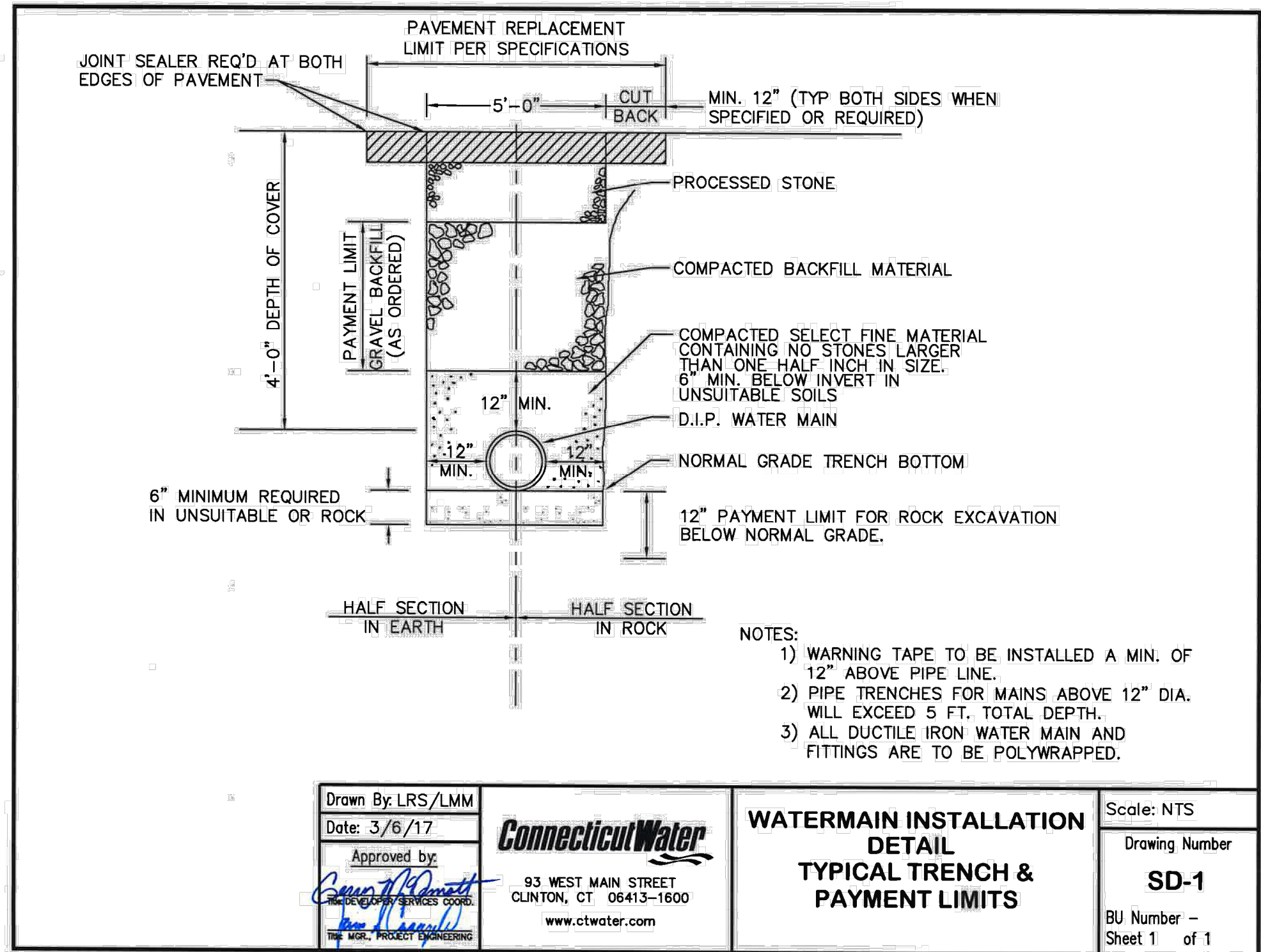
19 Midstate Drive
Auburn, MA 01501
(508) 721-7600



Drawing #: **C-9**

Job #: 20-105





TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____

REFERRAL ☐

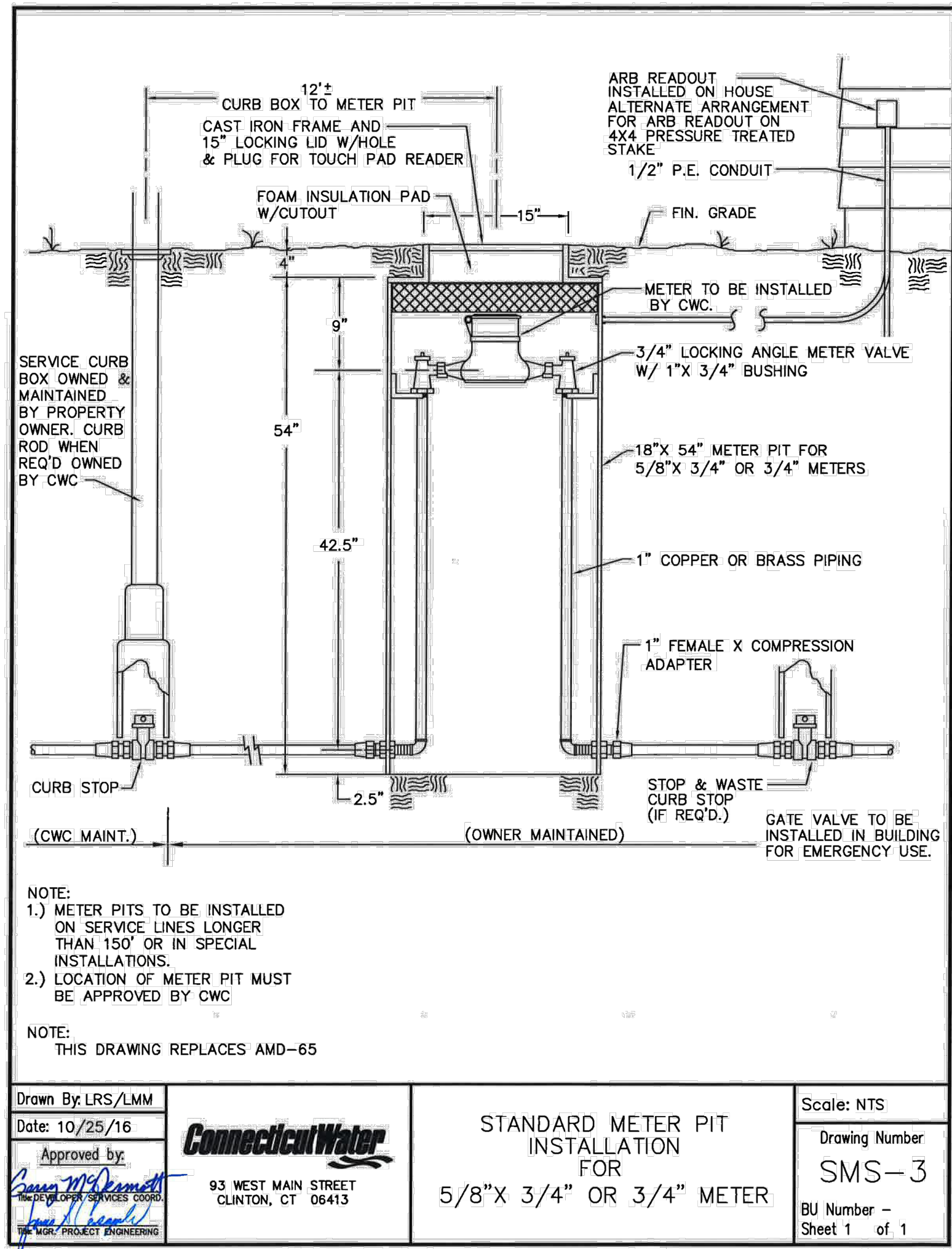
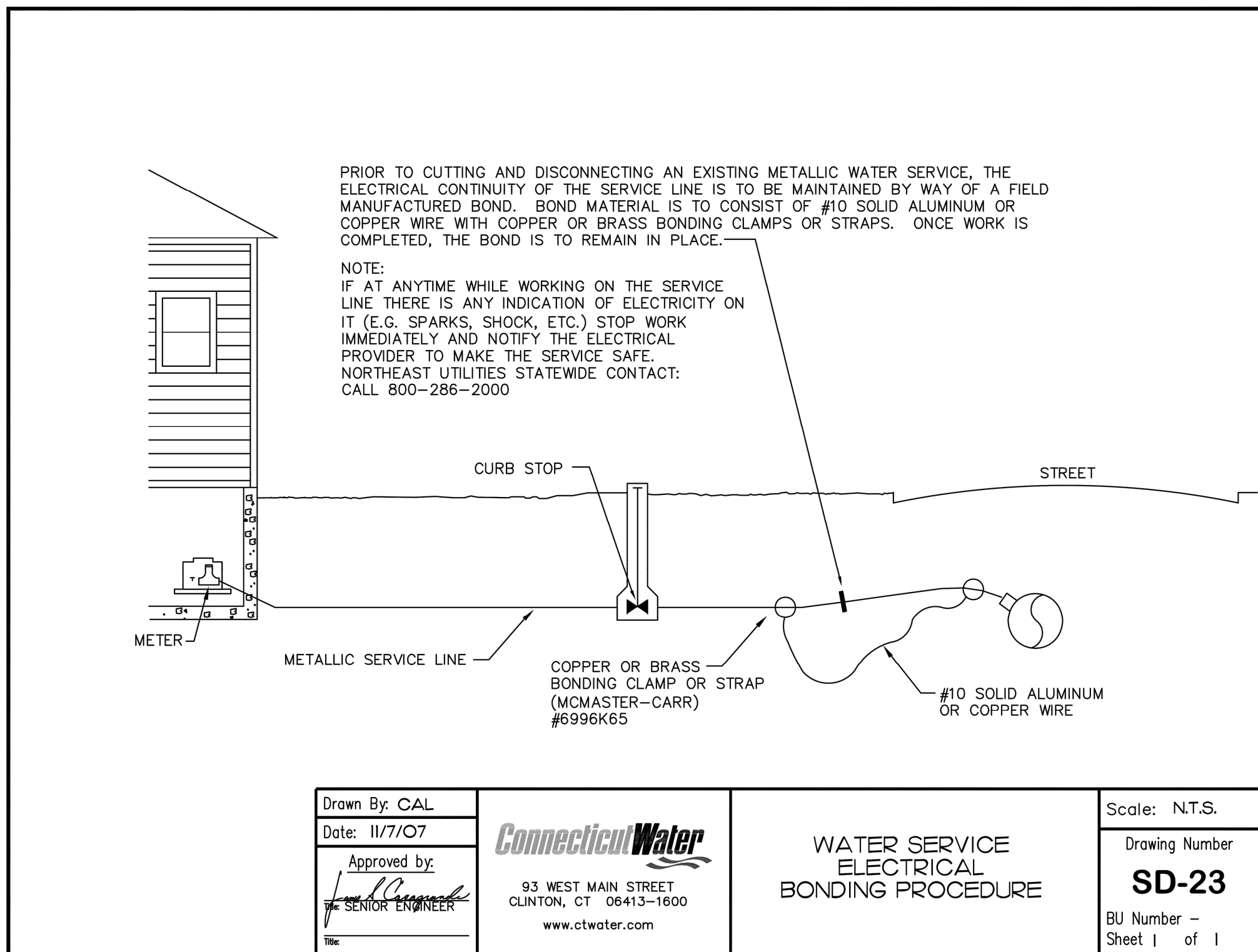
APPROVED ☐

CONDITIONS ☐

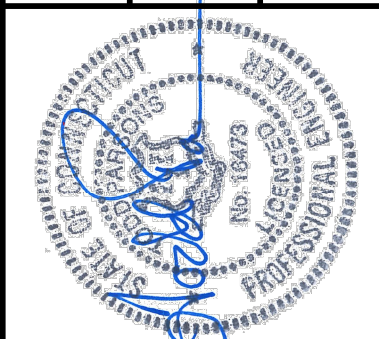
DATE _____

SIGNED _____

CHAIRMAN



Designed By: [Signature]
Drawn By: [Signature]
Checked By: TAP



Rev.	Date	By	Revision
1	11/30/2020	J.S.	Water Co. Comments
2	12/01/2020	J.S.	Site Entrance, Building Doorway Locations
3	01/12/2021	J.S.	Respond to Town Comments
4	02/10/2021	J.S.	Respond to GZA Comments
5	04/13/2021	J.S.	Lane Markings, GZA Comments, Delete Signs
6	04/21/2021	J.S.	Phasing

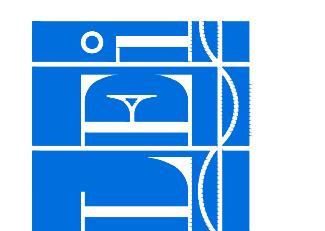
Drawing date: October 26, 2020

WATER DETAILS
NEW SUBARU DEALERSHIP
MITCHELL AUTO GROUP
ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Glastonbury, CT 06033
(860) 659-3100

140 Willow Street
Winsted, CT 06095
(860) 379-6669

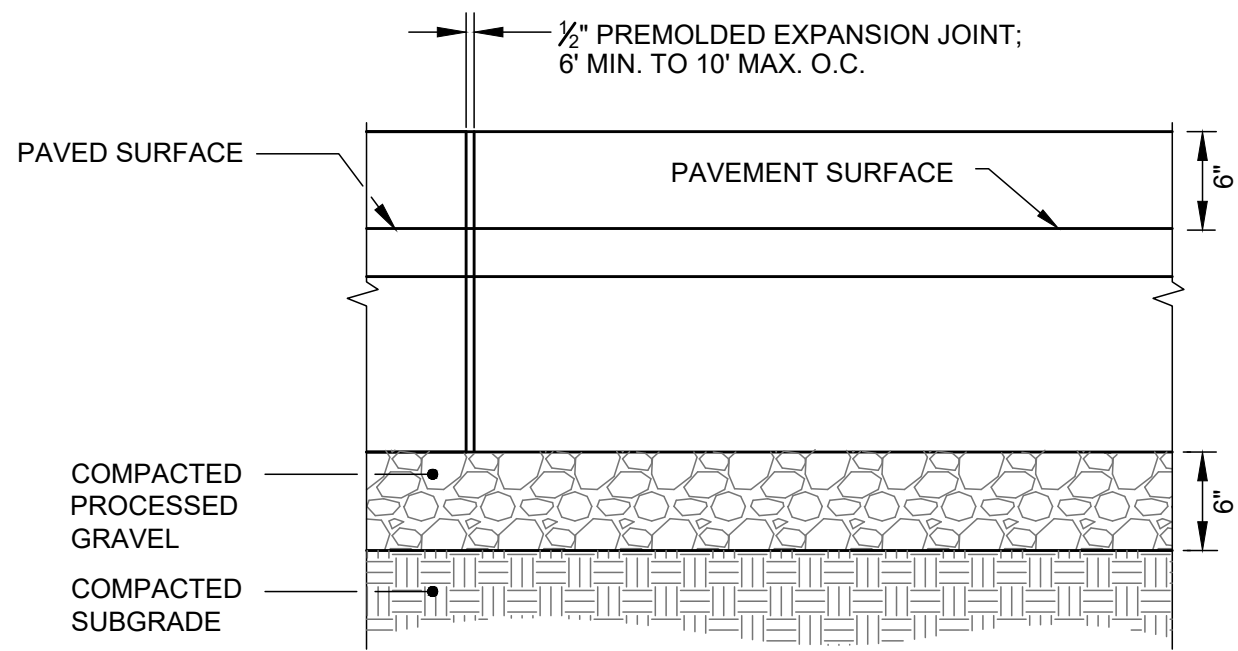
19 Midstate Drive
Auburn, MA 01501
(508) 721-7800



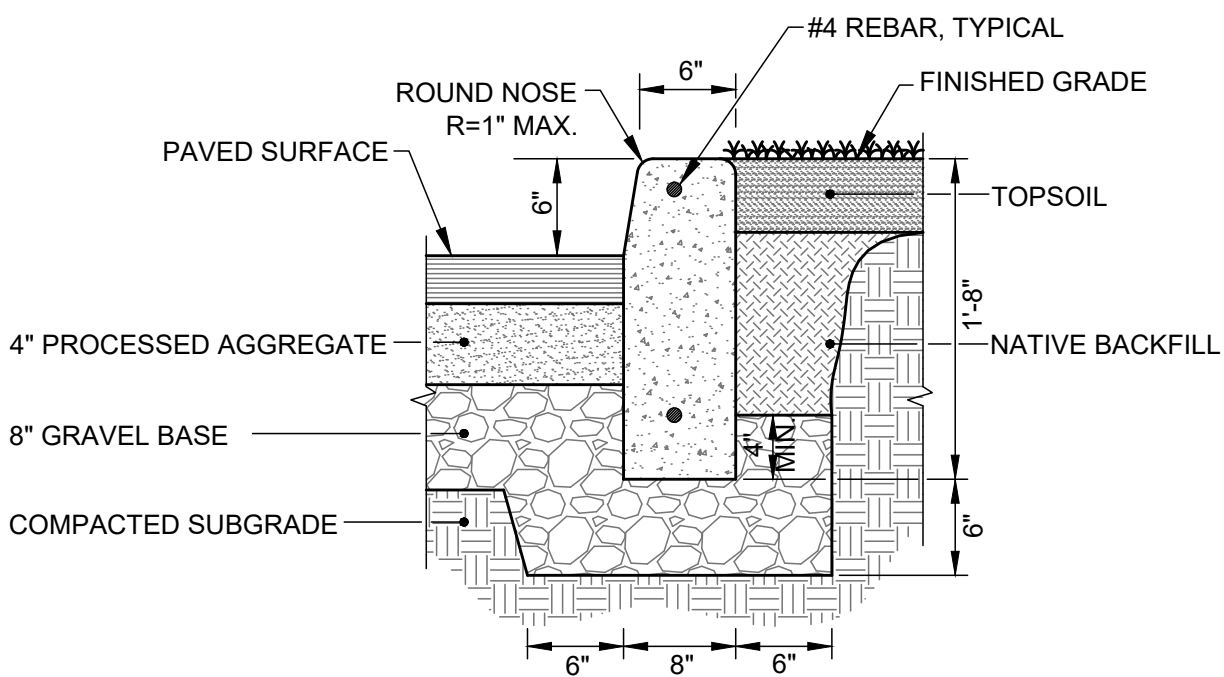
Drawing #:

C-10

Job #: 20-105

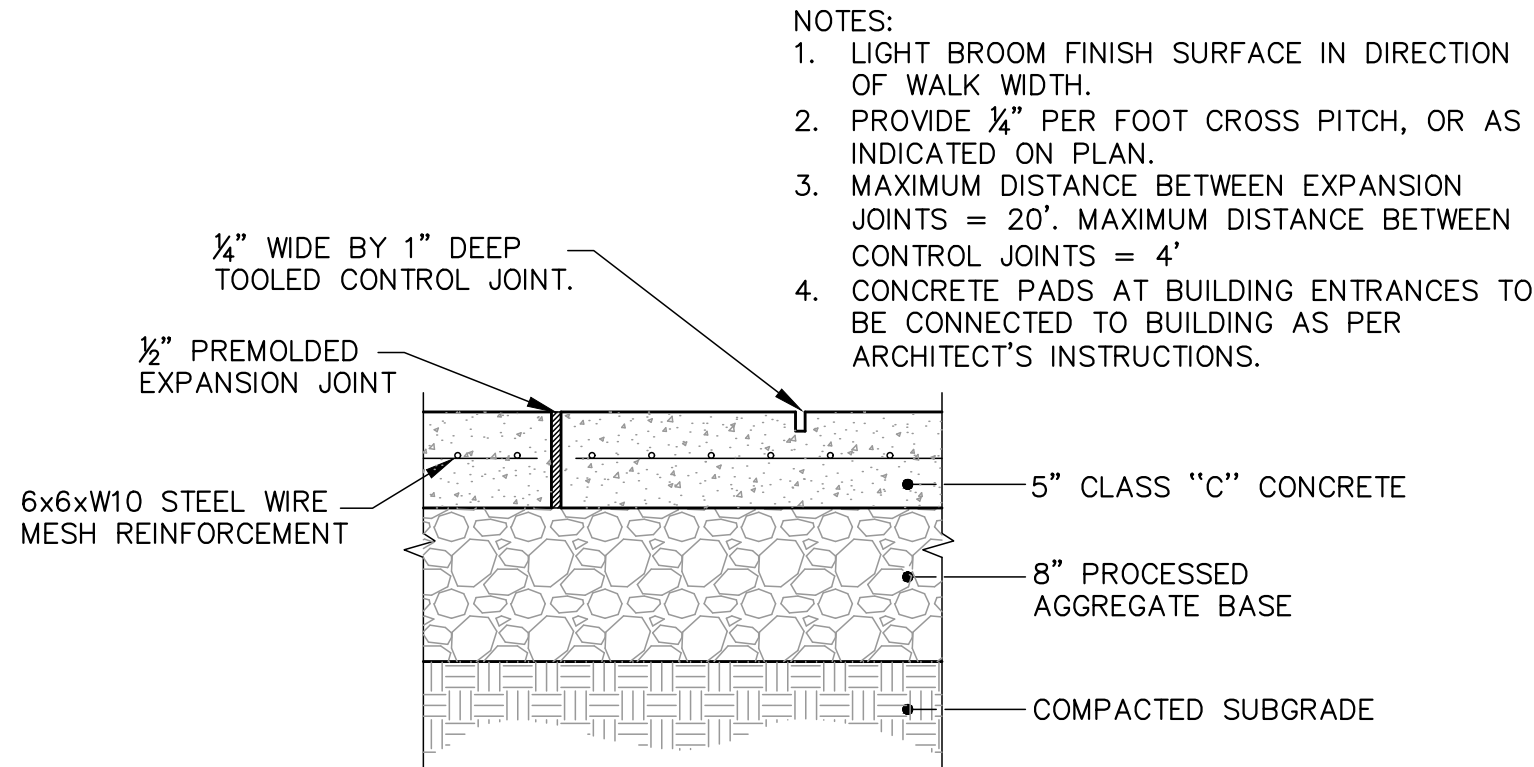


ELEVATION

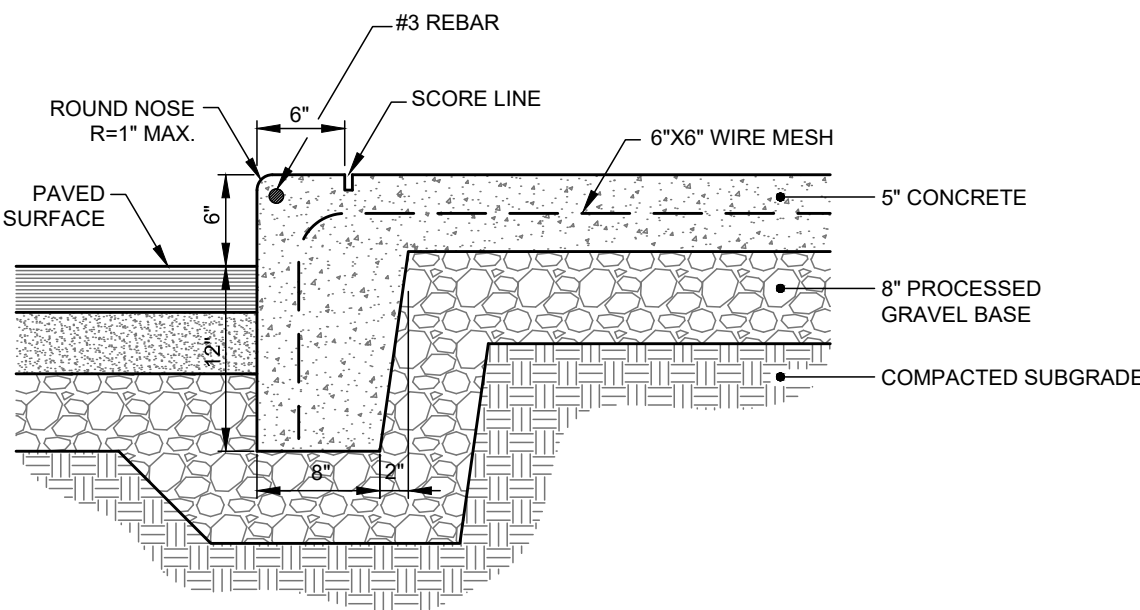


SECTION

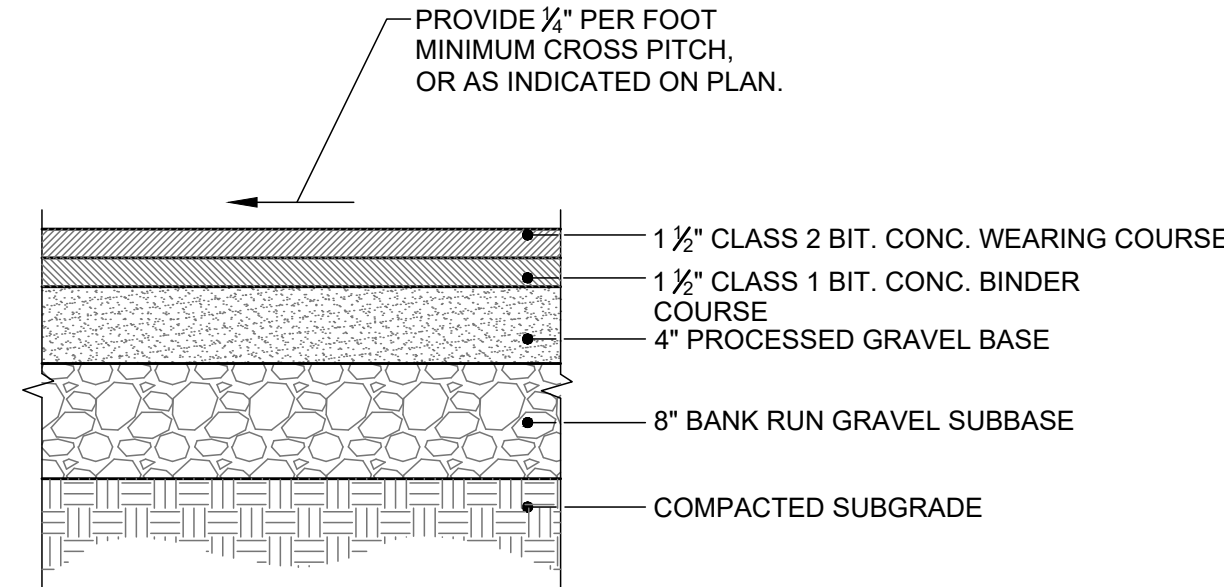
CONCRETE CURB
NOT TO SCALE



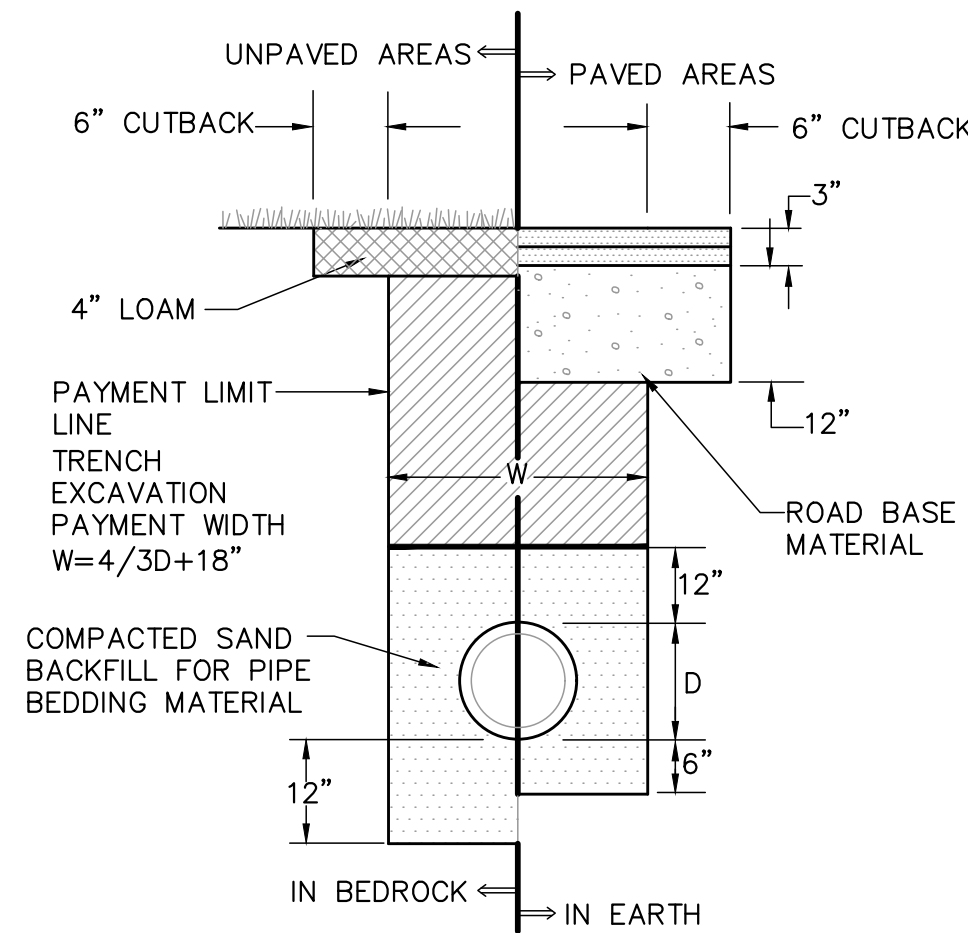
CONCRETE SIDEWALK & PAD W/O CURB
NOT TO SCALE



INTEGRAL CONCRETE CURB
AND SIDEWALK DETAIL
NOT TO SCALE



PARKING LOT PAVEMENT DETAIL
NOT TO SCALE



TYPICAL STORM DRAINAGE TRENCH
NOT TO SCALE

TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____
REFERRAL ☐
APPROVED ☐
CONDITIONS ☐

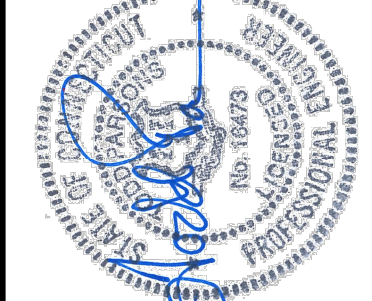
DATE _____

SIGNED _____
CHAIRMAN

Designed By:

Drawn By:

Checked By:

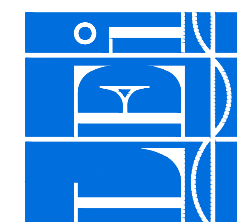


Drawing date:
October 26, 2020

SITE DETAILS

NEW SUBARU DEALERSHIP
MITCHELL AUTO GROUP
ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Glastonbury, CT 06033
(860) 659-3100



Drawing #:

C-11

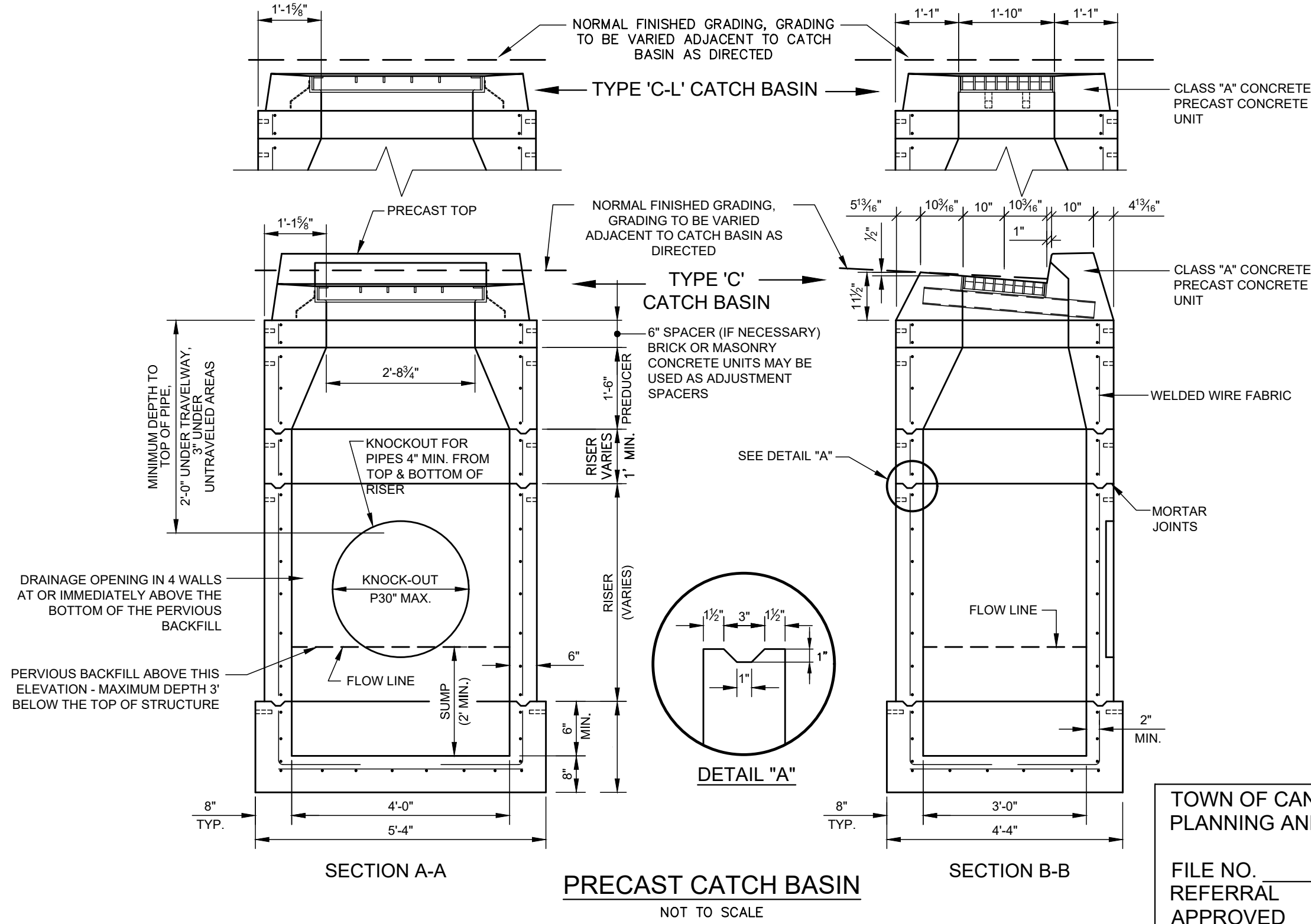
Job #: 20-105

NOTES:

WHERE PRECAST CONCRETE UNIT IS USED FOR THE SUMP, THE TOP FOR THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETING FROM THE CATCH BASIN FOR DETAILS OF FRAMES AND GRATES, SEE CONN. DOT STANDARD SHEET 507-K.

THE WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP TO BE INCREASED TO 12" THICKNESS, WHILE INSIDE DIMENSIONS TO REMAIN THE SAME.

CATCH BASIN HOODS SHALL BE PLACED ON THE OUTLET PIPE OF EACH CATCH BASIN. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF PROPOSED HOOD FOR APPROVAL.



TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____

REFERRAL ☐

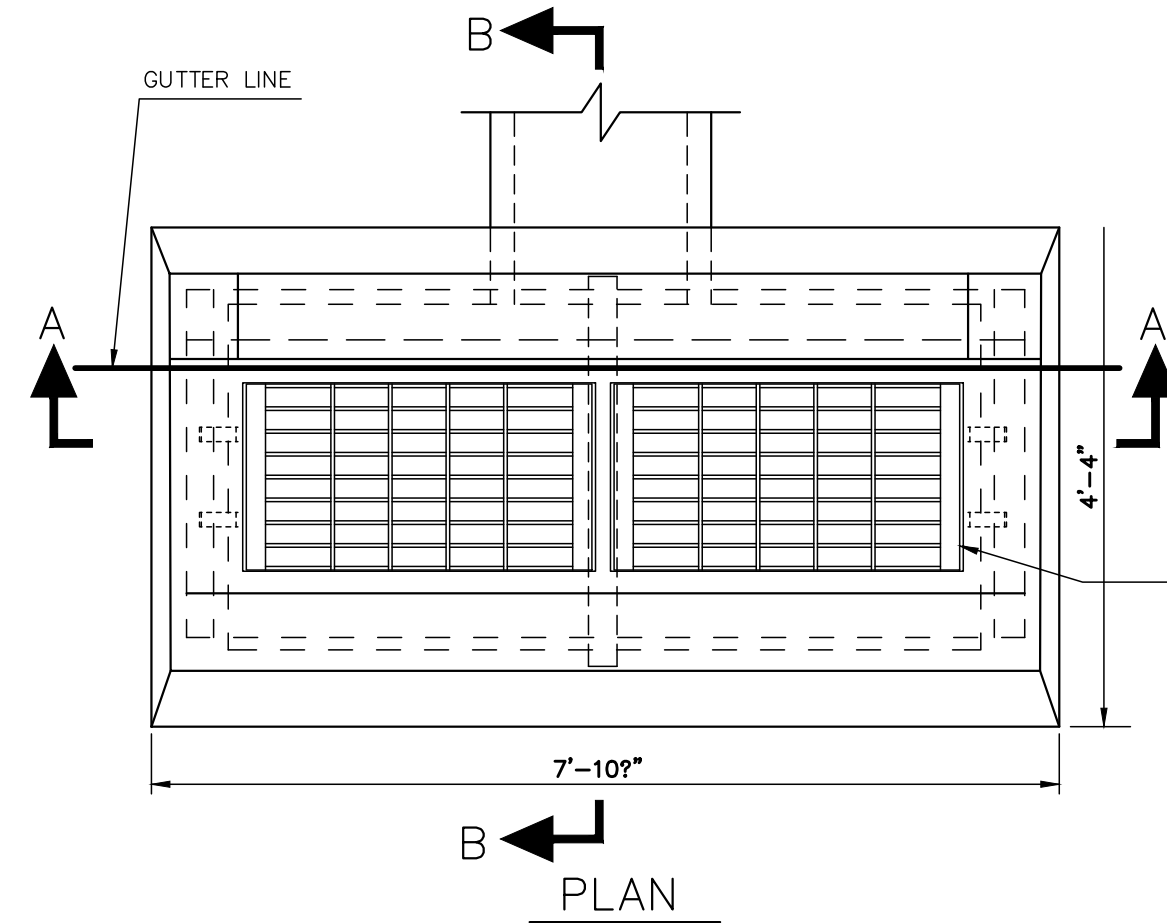
APPROVED ☐

CONDITIONS ☐

DATE _____

SIGNED _____

CHAIRMAN

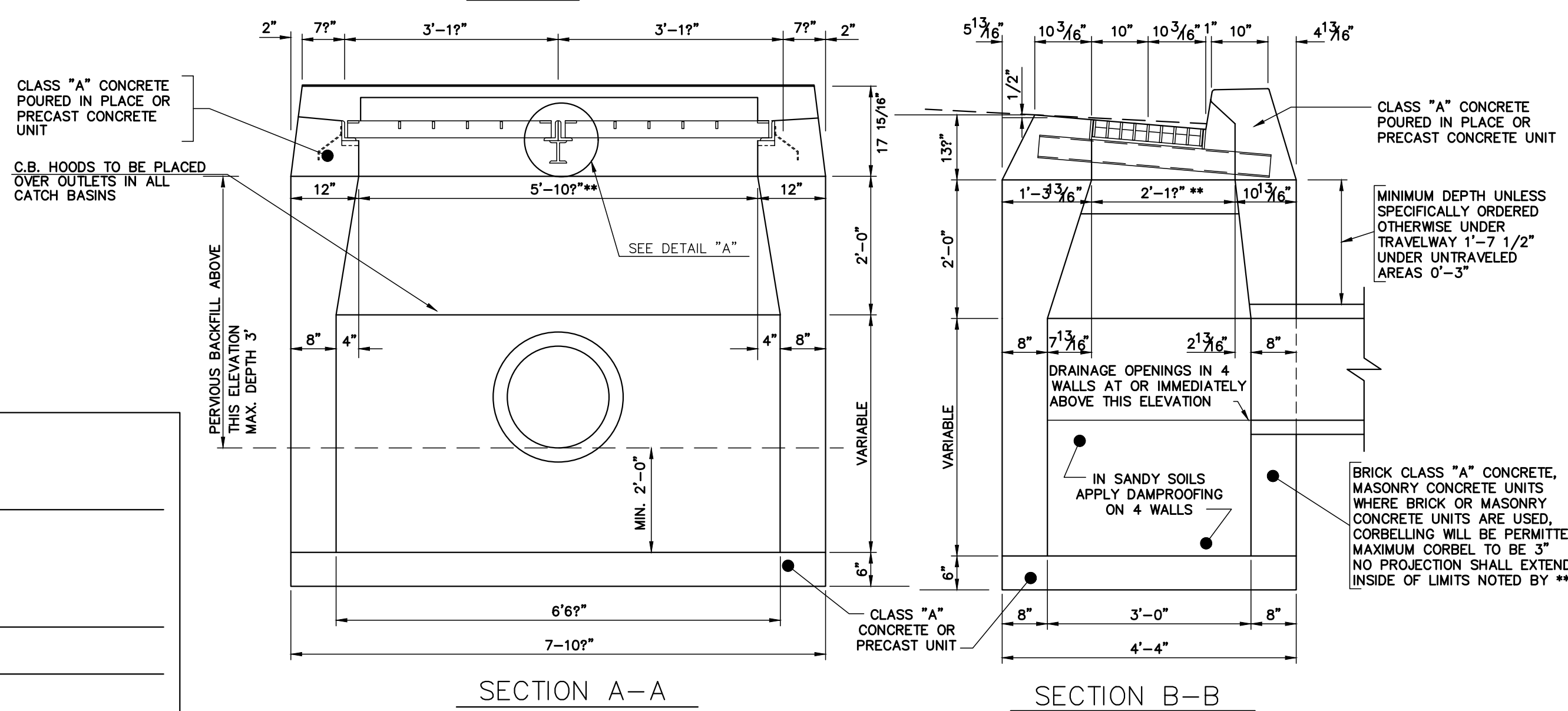
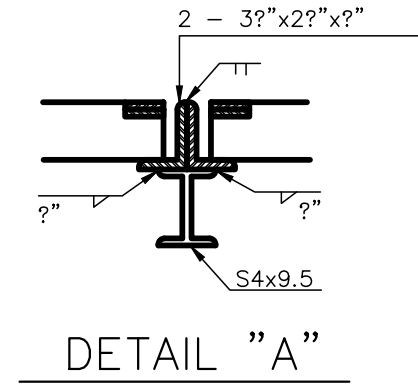


WHERE PRECAST CONCRETE UNIT IS USED FOR THE SUMP, THE TOP FOR THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETING FROM THE CATCH BASIN

FOR DETAILS OF FRAMES AND GRATES, SEE CONN. DOT STANDARD SHEET 507-K.

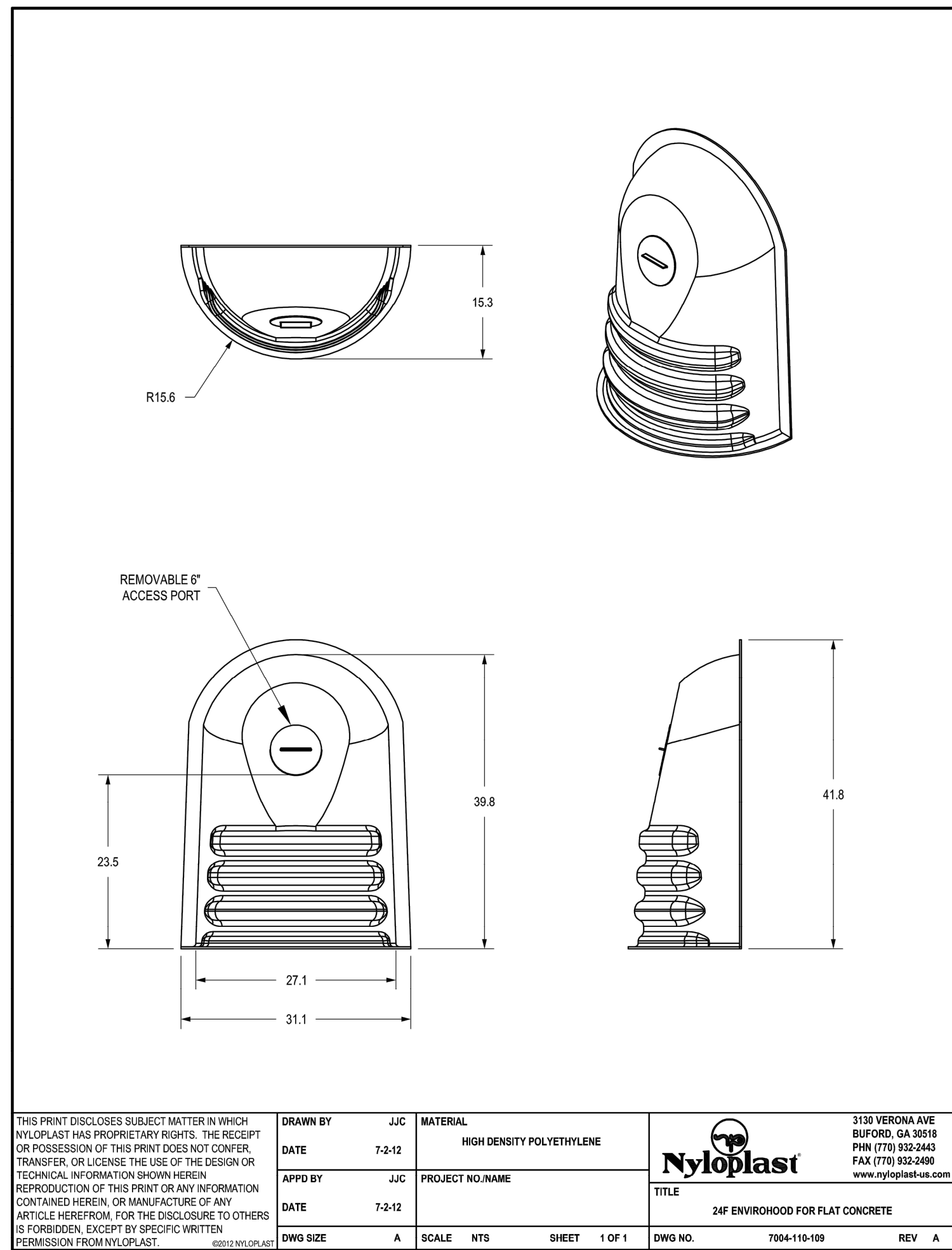
THE WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP TO BE INCREASED TO 12" THICKNESS, WHILE INSIDE DIMENSIONS TO REMAIN THE SAME.

CATCH BASIN HOODS SHALL BE PLACED ON THE OUTLET PIPE OF EACH CATCH BASIN. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF PROPOSED HOOD FOR APPROVAL.



TYPE 'C' CATCH BASIN DOUBLE GRATE - TYPE II

NOT TO SCALE



PRODUCT SPECIFICATION:

1. Peak Hydraulic Flow: 50.0 cfs (1415 l/s)
2. Min. Sediment Storage Capacity: 2.8 cu. yd. (2.1 cu. m.)
3. Oil Storage Capacity: 1002 gal. (3793 liters)
4. Maximum Inlet/Outlet Pipe Diameters: 48 in. (1200 mm)
5. The treatment system shall use an induced vortex to separate pollutants from stormwater runoff.
6. For more product information including regulatory acceptances, please visit <https://hydro-int.com/en/products/first-defense>

GENERAL NOTES:

1. General Arrangement drawings only. Contact Hydro International for site specific drawings.
2. The diameter of the inlet and outlet pipes may be no more than 48".
3. Multiple inlet pipes possible (refer to project plan).
4. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plan.s)
5. Peak flow rate and minimum height limited by available cover and pipe diameter.
6. Larger sediment storage capacity may be provided with a deeper sump depth.

PARTS LIST			
ITEM	QTY	SIZE (in)	DESCRIPTION
1	1	96	2400
2	1		I.D. PRECAST MANHOLE
3	1	30	750
4	1	48 (MAX)	1200 (MAX)
5	1	48 (MAX)	1200 (MAX)
			INTERNAL COMPONENTS (PRE-INSTALLED)
			FRAME AND COVER (ROUND)
			OUTLET PIPE (BY OTHERS)
			INLET PIPE (BY OTHERS)

NOTES:

1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
3. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

FIRST DEFENSE MODEL FD-8HC ENHANCED VORTEX SEPARATOR

NOT TO SCALE

Designed By:

Drawn By:

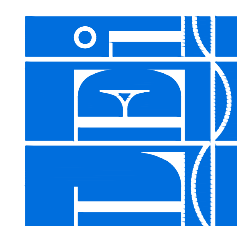
Checked By:

Drawing date:
October 26, 2020

SITE DETAILS

NEW SUBARU DEALERSHIP
MITCHELL AUTO GROUP
ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

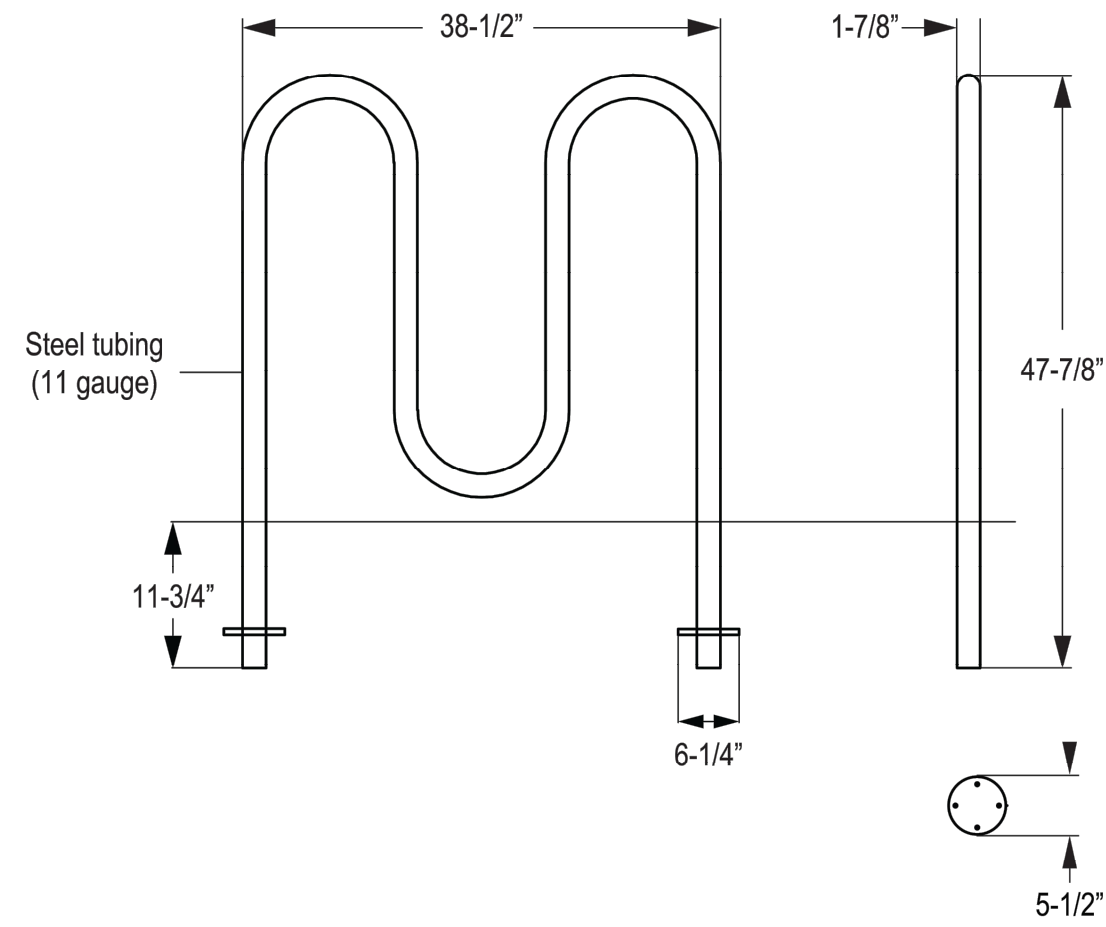
Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Glastonbury, CT 06033
(860) 659-3100



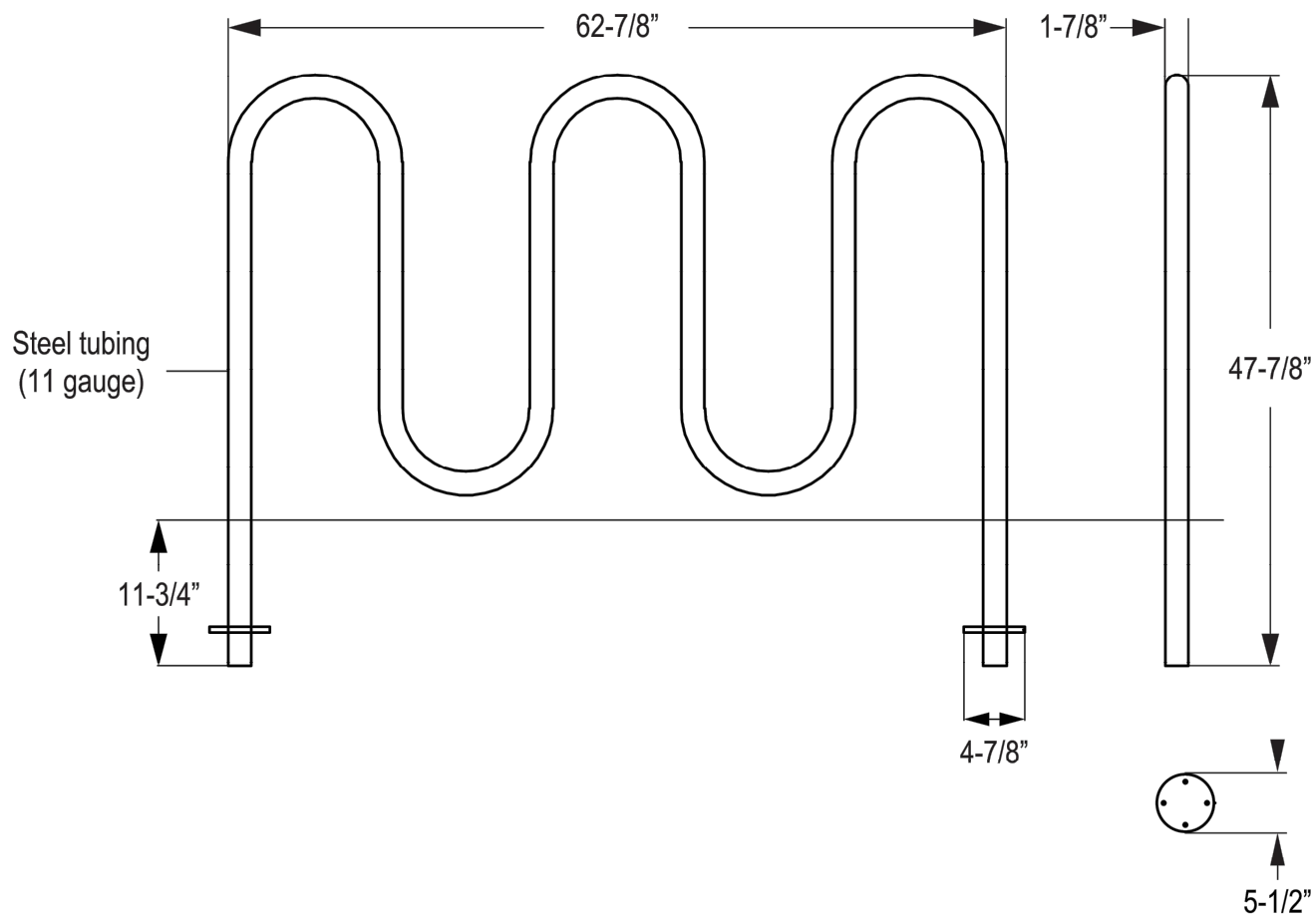
Drawing #:

C-12

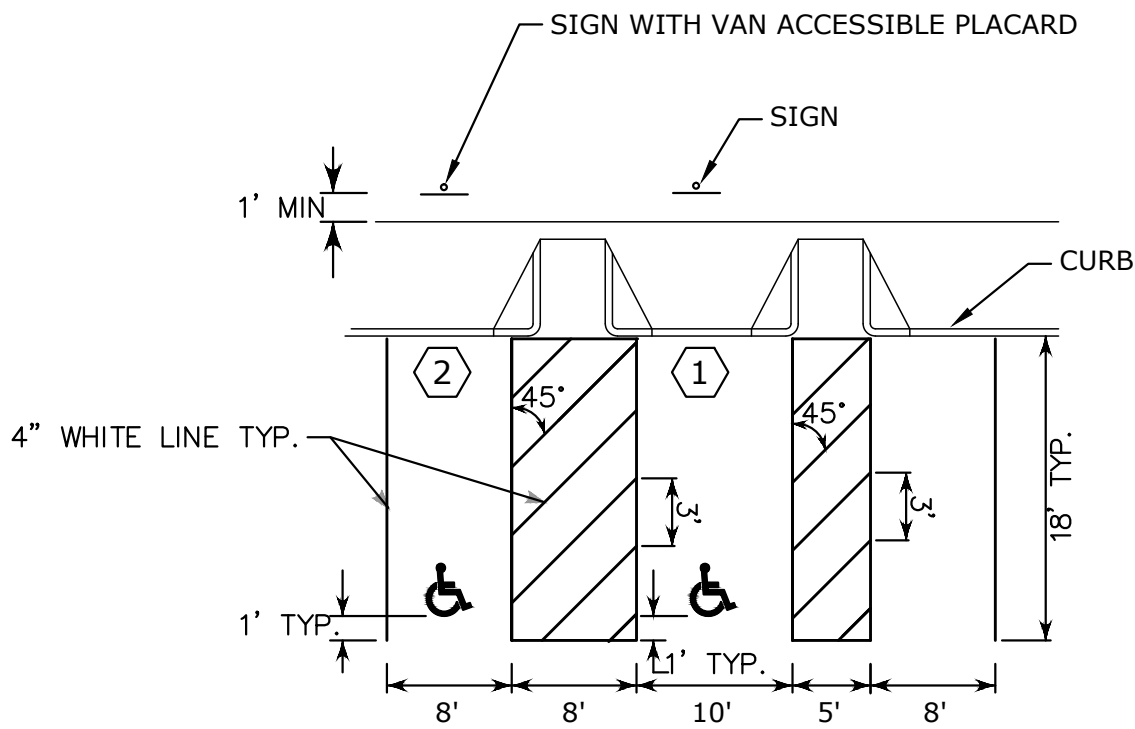
Job #: 20-105



BELSON OUTDOORS MODEL CBBR-5URI-BK
5 BIKE 'U' BIKE RACK, POWDER-COATED BLACK,
IN-GROUND MOUNT
NOT TO SCALE

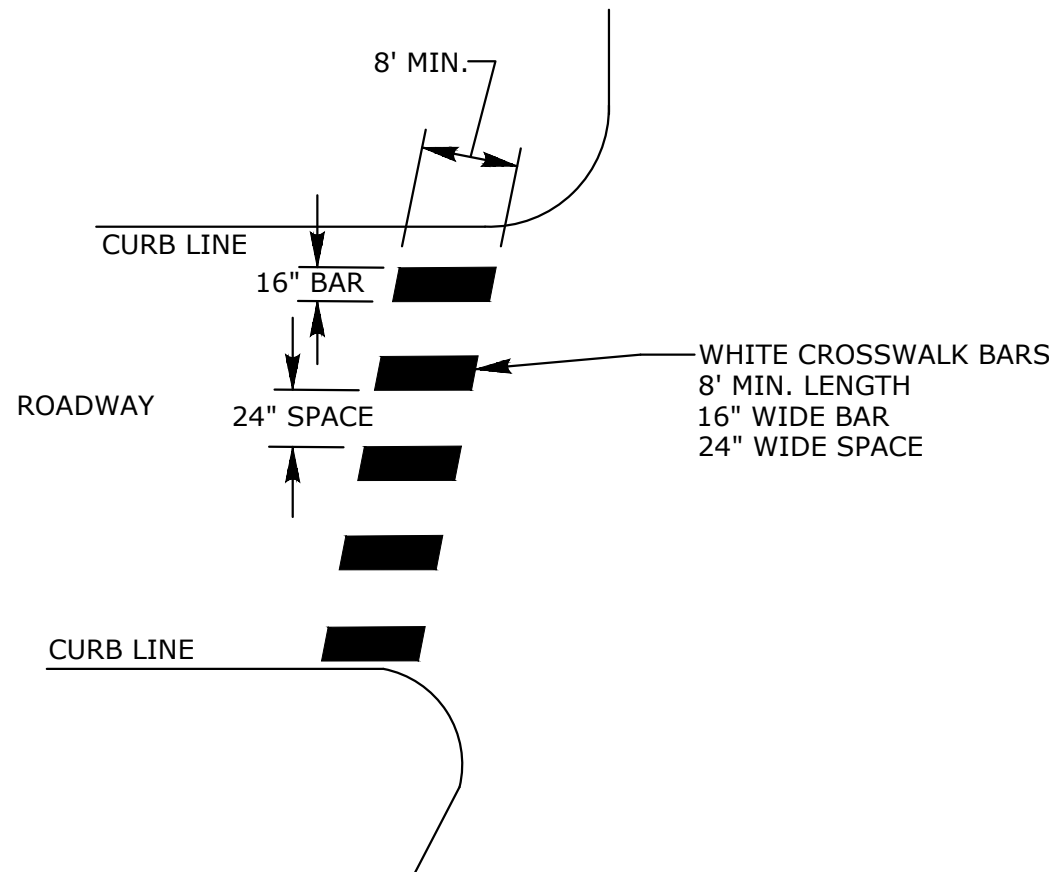


BELSON OUTDOORS MODEL CBBR-7UR-BK
7 BIKE 'U' BIKE RACK, POWDER-COATED BLACK,
IN-GROUND MOUNT
NOT TO SCALE

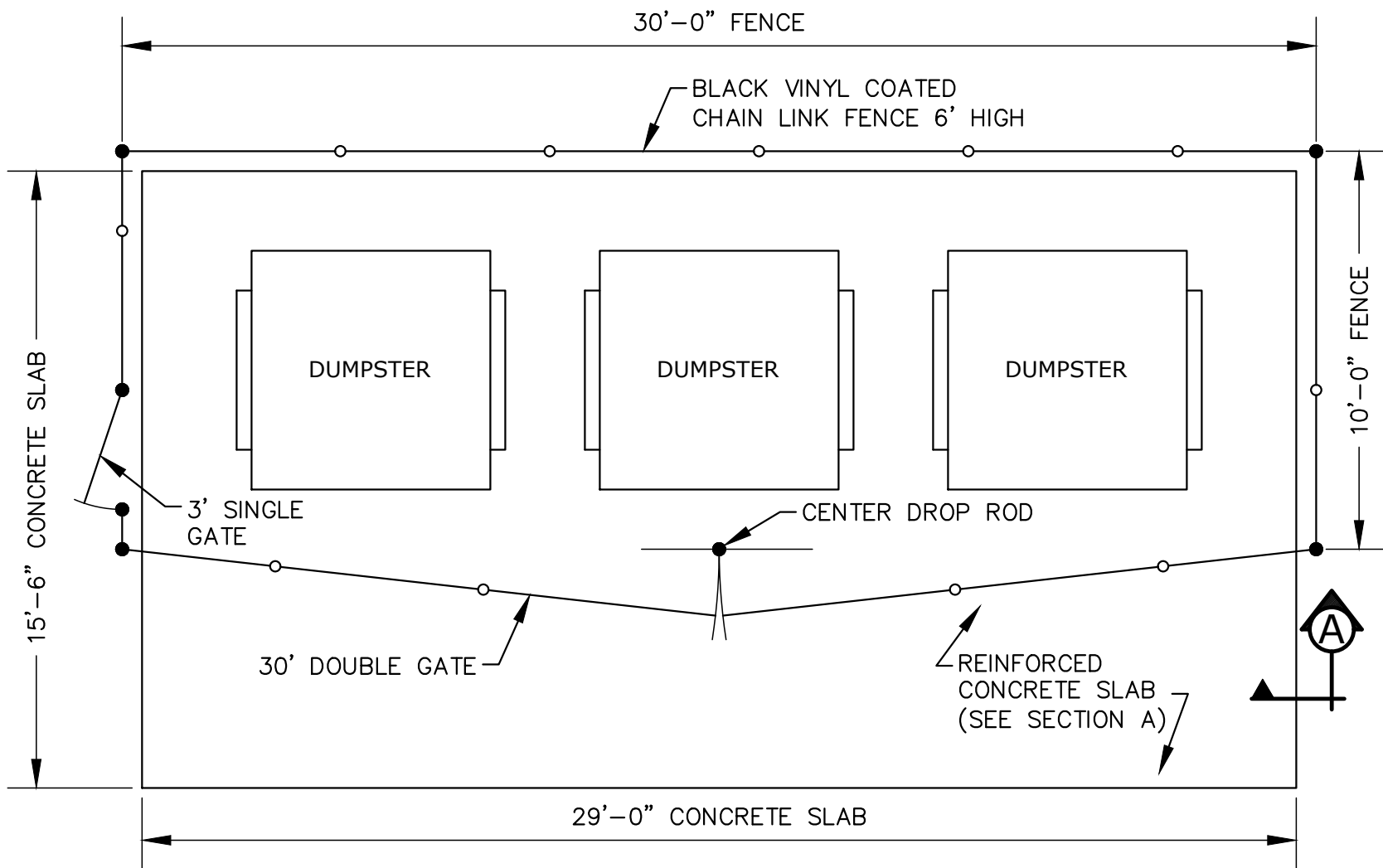


- PARKING STALLS:
1. AUTOMOBILE ACCESSIBLE PARKING SPACES SHALL BE 15' WIDE INCLUDING 5' OF CROSSHATCH.
 2. VAN ACCESSIBLE PARKING SPACES SHALL BE 16' WIDE INCLUDING 8' OF CROSSHATCH.

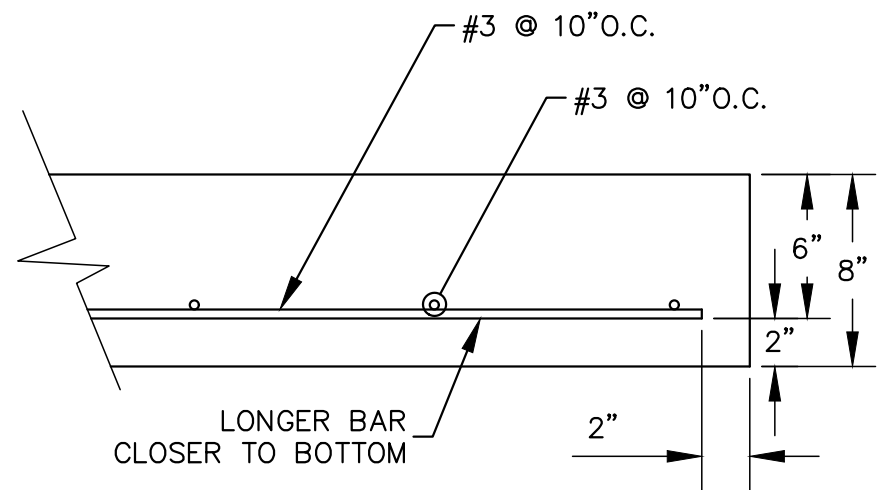
TYPICAL PERPENDICULAR PARKING STALLS DETAIL
NOT TO SCALE



PAINTED CROSSWALK
NOT TO SCALE

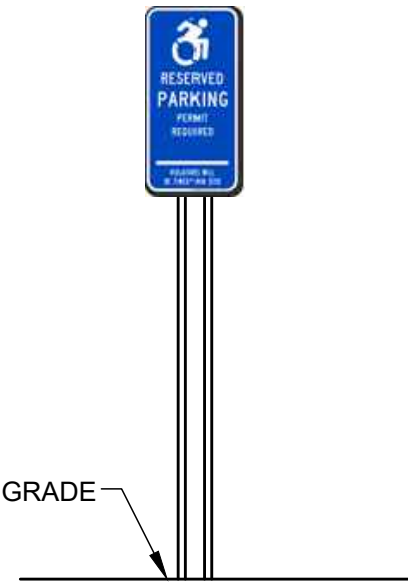


DUMPSTER PAD DETAIL
SCALE: 1/4"=1'-0"



DUMPSTER PAD SECTION A
SCALE: 1 1/2"=1'-0"

NOTE: SIGNS TO COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS



STANDARD HANDICAP PARKING SIGN
NOT TO SCALE

NOTE: SIGNS TO COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS



VAN ACCESSIBLE HANDICAP PARKING SIGN
NOT TO SCALE

TOWN OF CANTON
PLANNING AND ZONING COMMISSION

FILE NO. _____ APPLICATION NO. _____

REFERRAL ☐

APPROVED ☐

CONDITIONS ☐

DATE _____

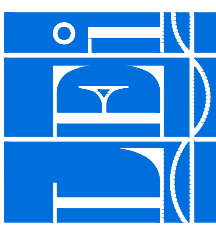
SIGNED _____ CHAIRMAN

SITE DETAILS

NEW SUBARU DEALERSHIP
MITCHELL AUTO GROUP
ALBANY TURNPIKE (ROUTE 44 & 202)
CANTON, CONNECTICUT

Lenard Engineering, Inc.
Civil, Environmental and Hydrogeological Consultants
2210 Main Street
Gastonbury, CT
(860) 659-3100

19 Midstate Drive
Auburn, MA
(508) 721-7600



Drawing #:

C-13

Job #: 20-105

Drawing date:
October 26, 2020

Rev.	Date	By	Revision
1	11/30/2020	J.S.	Water Co. Comments
2	12/01/2020	J.S.	Site Entrance, Building Doorway Locations
3	01/12/2021	J.S.	Respond to Town Comments
4	02/10/2021	J.S.	Respond to GZA Comments
5	04/13/2021	J.S.	Lane Markings, GZA Comments, Delete Signs
6	04/21/2021	J.S.	Phasing

Designed By:

Drawn By:

Checked By:

