#### AGENDA

Regular Virtual Meeting
Canton Planning and Zoning Commission
Wednesday, October 21, 2020 at 7:00 pm
Call-In Number: +1 (408) 650-3123

Access Code: 529-850-621

Application materials and meeting information can be found at the following location: http://www.townofcantonct.org/agendas-minutes-meetings

CALL TO ORDER: ROLL CALL:

#### **READING OF THE LEGAL NOTICE:**

#### **PUBLIC HEARINGS**

We encourage those looking to submit public hearing testimony, to do so in advance of the meeting to the following email: <a href="mailto:npade@TownofCantonCT.org">npade@TownofCantonCT.org</a>

1. File 475; ApIn 2000; 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.3.a., drive-thru uses; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; Section 7.10.B.2, outdoor storage and display; and Site Plan Application: Section 4.1.B.3., restaurant classes I & II; Section 9.1.A., request to construct a 8,384 sq. ft. gas station/convenience store with restaurants and drive-thru, and 23,500 sq. ft. electronic vehicle showroom with 117 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner

## **REGULAR MEETING**

## **PUBLIC HEARING ACTIONS:**

1. File 475; ApIn 2000; 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.3.a., drive-thru uses; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; Section 7.10.B.2, outdoor storage and display; and Site Plan Application: Section 4.1.B.3., restaurant classes I & II; Section 9.1.A., request to construct a 8,384 sq. ft. gas station/convenience store with restaurants and drive-thru, and 23,500 sq. ft. electronic vehicle showroom with 117 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner

**OLD BUSINESS: None** 

**NEW BUSINESS: None** 

## **OTHER BUSINESS:**

- 1. Update Regarding the Communications Facilities Sub-Committee
- 2. Discussion of Zoning Map Amendments Pertaining to Potential Opportunity Locations
- 3. Discussion on Potential Edits to the Form-Based Code
- 4. Update regarding violation at 31 Powder Mill Road
- 5. Discussion on POCD Implementation
- 6. Discussion of Form Based Code Concept of Site/Pad/Maximum Density Partial Approvals
- 7. Discussion of Public Improvement Standards
- 8. Review of Minutes from September 16, 2020
- 9. 2021 Meeting Schedule
- 10. Staff Reports:
  - a. Town Planner's Reportb. ZEO Report

## **ADJOURNMENT:**

## **Exhibit List for:**

**File 475; Apln 2000;** 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.3.a., drive-thru uses; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; Section 7.10.B.2, outdoor storage and display; and Site Plan Application: Section 4.1.B.3., restaurant classes I & II; Section 9.1.A., request to construct a 8,384 sq. ft. gas station/convenience store with restaurants and drive-thru, and 23,500 sq. ft. electronic vehicle showroom with 117 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner

## List as of October 21, 2020

## **Drawings:**

- 1. Cover Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 2. Property Survey 1 of 2; 9-15 Albany Turnpike; Prepared by Accurate Land Surveying, LLC; Prepared for 9-15 Albany Turnpike, LLC; dated 12/10/19
- 3. Property Survey 2 of 2; 9-15 Albany Turnpike; Prepared by Accurate Land Surveying, LLC; Prepared for 9-15 Albany Turnpike, LLC; dated 12/10/19
- 4. 2.10; Overall Site Layout Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 5. 2.11; Site Layout Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 6. 2.21; Grading & Drainage Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 7. 2.31; Soil Erosion & Sediment Control Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 8. 2.41; Soil Erosion & Sediment Control Plan Notes; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 9/24/20
- 9. 2.51; Site Utility Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 10. 2.61; Landscape Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 11. 2.62; Landscape Details Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 9/24/20
- 12. 2.71; Lighting Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 13. 2.72; Lighting Details Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 14. 3.01; Detail Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20

- 15. 3.02; Detail Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 16. 3.03; Detail Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 9/24/20
- 17. 3.04; Detail Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 18. 4.11; Preliminary Offsite Improvement Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/16/20
- 19. Car Sales and Maintenance Building: Main Level Floor Plan; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 20. Car Sales and Maintenance Building: Lower Level Floor Plan; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 21. Exterior Elevations I; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 22. CP1.1; Conceptual Plan; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/6/20
- 23. CP1.2; Conceptual Elevations; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/6/20
- 24. CP1.3; Conceptual Elevations: Colored; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 10/6/20
- 25. CP1.4; Fuel Dispenser Canopy Plan & Elevations; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 26. A101; Proposed First Floor Plan; Prepared by Phase Zero Design; Prepared for 9-15 Albany Turnpike, LLC; dated 10/15/20
- 27. A102: Proposed Second Floor Plan; Prepared by Phase Zero Design; Prepared for 9-15 Albany Turnpike, LLC; dated 10/15/20
- 28. A103; Proposed Roof Plan; Prepared by Phase Zero Design; Prepared for 9-15 Albany Turnpike, LLC; dated 10/15/20
- 29. A201; Proposed First Floor Lighting Plan; Prepared by Phase Zero Design; Prepared for 9-15 Albany Turnpike, LLC; dated 10/15/20
- 30. A202; Proposed Second Floor Lighting Plan; Prepared by Phase Zero Design; Prepared for 9-15 Albany Turnpike, LLC; dated 10/15/20
- 31. A301; Exterior Elevation I; Prepared by Phase Zero Design; Prepared for 9-15 Albany Turnpike, LLC; dated 10/15/20
- 32. A302; Exterior Elevation II; Prepared by Phase Zero Design; Prepared for 9-15 Albany Turnpike, LLC; dated 10/15/20
- 33. A303; Materials List; Prepared by Phase Zero Design; Prepared for 9-15 Albany Turnpike, LLC; dated 10/15/20
- 34. A401; Building Sections; Prepared by Phase Zero Design; Prepared for 9-15 Albany Turnpike, LLC; dated 10/16/20
- 35-44. Car Showroom and Maintenance Building Renderings 1-10; dated 10/16/20

## Correspondence:

- 1. Town of Canton Zoning Development Application: File 475; Apln 2000; 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.7.C.3., retaining wall by special permit; and Site Plan Application, Section 9.1.A.; request to construct a 8,384 sq. ft. gas station/convenience store with drive-thru and 20,865 sq. ft. electronic vehicle showroom with 68 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner
- 1a. Town of Canton Zoning Development Application: File 475; Apln 2000; 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; and Site Plan Application, Section 9.1.A.; request to construct a 8,384 sq. ft. gas station/convenience store with drive-thru and 20,865 sq. ft. electronic vehicle showroom with 68 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner
- 1b. File 475; Apln 2000; 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.3.a., drive-thru uses; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; Section 7.10.B.2, outdoor storage and display; and Site Plan Application: Section 4.1.B.3., restaurant classes I & II; Section 9.1.A., request to construct a 8,384 sq. ft. gas station/convenience store with restaurants and drive-thru, and 23,500 sq. ft. electronic vehicle showroom with 117 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner
- 2. Traffic Impact Study; prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20 (provided under separate cover)
- 3. Engineering Report; prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; revised 9/4/20; revised 9/24/20; revised 10/16/20 (provided under separate cover)
- 4. Site Plan application checklist
- 5. Erosion and Sediment Control checklist
- 6. Special Permit application checklist
- 7. Letter from Lawrence LePere of Solli Engineering to Neil Pade regarding proposed zoning map amendment; dated 8/12/20
- 8. Email from Collene Byrne of Solli Engineering to Fire Marshal Tim Tharau regarding application submittal; dated 8/12/20

- 9. Email from Collene Byrne of Solli Engineering to Police Chief Arciero regarding application submittal; dated 8/12/20
- 10. Abutter list
- 11. Letter from Sarah Ridyard of CT Water to Anthony Capuano of Solli Engineering regarding water feasibility; dated 8/5/20
- 12. Email from Anthony Capuano of Solli Engineering to WPCF Superintendent Roger Ignazio regarding Canton's sewer shed; dated 8/3/20
- 13. Letter from Kevin Solli of Solli Engineering to Neil Pade regarding application submittal; dated 8/12/20
- 14. RAB Lighting Cut Sheet for Model: WPLED26N
- 15. Lithonia Lighting Cut Sheet for Model: LDN6
- 16. Emblem/Regalia Emblem Series Specifications
- 17. CREE Lighting Cut Sheet for Model: 304 Series
- 18. CREE Lighting Cut Sheet for Model: OSQ Series
- 19. Project Narrative
- 20. Letter of Transmittal from Solli Engineering; dated 9/1/20
- 21. Email communication between Solli Engineering, Attorney David Markowitz and Renee Deltenre regarding legal notice review; dated 9/1/20
- 22. Legal Notice posted to the Town of Canton Website on 9/1/20
- 23. Email from Renee Deltenre to Town Staff requesting application review; dated 9/3/20
- 24. Email from Roger Ignazio (WPCF) to Renee Deltenre regarding application feedback; dated 9/4/20
- 25. Email from Renee Deltenre to Town Staff requesting review of revised application materials; dated 9/9/20
- 26. Email of concern from Patricia Hamilton to Neil Pade; dated 9/10/20
- 27. Email of concern from Carolyn Woodard to Neil Pade; dated 9/10/20
- 28. Email of concern from Tim Kendzia to Neil Pade; dated 9/10/20
- 29. September 16, 2020 Canton PZC Agenda
- 30. Notice of Public Hearing Postponement; dated 9/15/20
- 31. Email from Glenn Cusano (DPW) to Renee Deltenre regarding application feedback; dated 9/14/20
- 32. Letter from CT Water to Neil Pade regarding application review; dated 9/15/20
- 33. Email from Chief of Police Chris Arciero to Renee Deltenre regarding application feedback; dated 9/29/20
- 34. Memorandum from Neil Pade to Planning and Zoning Commission, Staff Report; dated 9/29/20
- 35. Email from Neil Pade to Attorney Markowitz regarding staff review; dated 9/30/20
- 36. Email from Neil Pade to Renee Deltenre and Emily Kyle regarding 10-02-20 revised plan set submittal; dated 10/5/20
- 37. Email communication between Neil Pade and Fire Chief Bruce Lockwood regarding plan review; dated 10/5/20
- 38. Town of Simsbury approval letter for Application #ZC 20-10; 9-15 Albany Turnpike; dated 10/6/20
- 39. Email from Collene Byrne to Neil Pade regarding the submittal of a revised zoning development application; dated 10/6/20

- 40. Email from Collene Byrne to Neil Pade regarding the revised legal notice description for the 10/21/20 public hearing; dated 10/6/20
- 41. Email from Collene Byrne to Neil Pade regarding abutter notifications and posting of the public hearing sign; dated 10/7/20
- 42. Photos of public hearing signs on-site
- 43. Certificate of mailings from the USPS
- 44. Email from Attorney Markowitz to Neil Pade regarding special permit criteria; dated 10/14/20
- 45. Special Permit criteria narrative
- 46. Letter from Chairman Jay Kaplan of the Canton Conservation Commission to PZC Chairman Jonathan Thiesse regarding application review; dated 10/14/20
- 47. Project Narrative provided by Solli Engineering; received 10/6/20
- 48. Letter from Kevin Solli to Neil Pade regarding response to feedback from the CT Water Company; dated 10/2/20; received 10/6/20
- 49. Email communication between Neil Pade and Collene Byrne regarding the submittal of revised plans; dated 10/16/20
- 50. Special Permit criteria checklist
- 51. Request for Modification Letter from Solli Engineering to Neil Pade; dated 10/16/20
- 52. Response to Staff Comments Letter from Solli Engineering to Neil Pade; dated 10/16/20
- 53. Email of concern from John Pech to Neil Pade; dated 10/20/20
- 54. Email and photo renderings from Neil Pade to Attorney Markowitz regarding View-shed Considerations; dated 10/20/20
- 55. Email from Zoning Enforcement Officer Emily Kyle to Neil Pade regarding proposed signage review; dated 10/19/20
- 56. Email from Barbara Kelly of the NCCD to Neil Pade regarding the E&S Plan Certification; dated 10/20/20
- 57. Email and documentation from Fire Marshal Tim Tharau to Neil Pade regarding the issuance of blasting permits; dated 10/21/20
- 58. Email of concern from Melissa Antarsh to Neil Pade; dated 10/20/20
- 59. Email of support from Gary Adajian to Neil Pade; dated 10/19/20
- 60. Email from Collene Byrne to Neil Pade regarding the public hearing sign affidavit; dated 10/21/20
- 61. Email from Collene Byrne to Neil Pade regarding discrepancies with revised drawings; dated 10/21/20
- 62. Letter from Chairman Katie Lucas of the Canton Economic Development to Neil Pade regarding proposed development; dated 10/21/20



## Town of Canton, CT ECONOMIC DEVELOPMENT AGENCY

## October 21, 2020

## To whom it may concern:

The Canton EDA has found both reasons to be excited and reasons to be concerned about the proposed development at 9-15 Albany Turnpike.

We have been impressed by the level of preparation, responsiveness, and communication by the developer. The proposed site is within an area that has been marked as an opportunity zone for decades, and is in a region of town that already has substantial development—we would not be encroaching on pristine territory. However, we must acknowledge some residents' concerns that grading that site would remove one of the last vestiges of nature in that area—though by so doing, we may make it more feasible to continue protecting our truly natural areas in town. At a moment when we have several small businesses shutting down due to the pandemic, it is welcome to have strong development interest in our community.

Further, we believe that this developer would be a welcome addition to the grand list and overall to the town. On a section of Route 44 that already has a number of car dealerships, a more progressive dealership featuring electric vehicles and the potential to replace its gas pumps with electric charging stations in the future feels forward-looking. This is in line with Canton's focus on renewable energy sources and would reflect our appreciation for modern alternative energy efforts. This is a new type of establishment and there is reason to believe that it would bring people to the town.

On the downside, we do have concerns about traffic impact. It is a complicated site for an entrance and exit if heavily used, and there may be both traffic pattern and visibility complications with that hill and curve. On a route that is imperative for our commuters, traffic easing measure must be taken.

Similarly, we would like to request that the town and the developer take the bike path and potential pedestrian traffic into consideration. We are already working with the Farmington Valley Shops to extend the bike path further down 44, and ultimately we would like to see the path connect safely and completely into Simsbury. Pedestrian traffic in that area right now is light and dangerous, but that is something we would like to see remediated over time. We

would request that the town and the developer think carefully about the use of Brass Lantern road and how it could contribute to our bike-friendly and pedestrian-friendly objectives.

Lastly, both the EDA and town residents have reasonable concerns that the look and feel of a futuristic car dealership—and the nature of the business as a gas station—is not in line with our inherent character as a small New England town. We hope that the design will comply with our established guidelines for the East District Design Village, and that it can be visible while not feeling out of place for Canton.

There are many positives about this proposed development, especially in a time where we need to work together to increase our grand list. But it is also important to the EDA and to the town that developers strive to work with our identity and our town goals.

Regards,

Katie Lukas, Chair

Canton Economic Development Agency

Archived: Wednesday, October 21, 2020 4:34:08 PM

From: Collene Byrne

Sent: Wed, 21 Oct 2020 15:03:49

To: Pade, Neil; Kevin Solli; David J. Markowitz; Mark Greenberg; Richard Correia

Cc: Deltenre, Rene

Subject: RE: 9-15 Albany Turnpike - Drawing Discrepancies

Importance: Normal

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Hi Neil,

Following up on the voicemail I just left for you at the office, the hard copy drawing list is correct and matches what is on the SharePoint link that I circulated on Friday morning.

https://sollillc.sharepoint.com/sites/MonroeOffice/Shared%20Documents/Forms/AllItems.aspx?id=%2Fsites%2FMonroeOffice%2FShared%20Documents%2F9%2D15%20Albany%20Turnpike%20%2D%20Canton%20RTC%20%2B2020%2D10%2D16%209%p=true&originalPath=aHR0cHM6Ly9zb2xsaWxsYy5zaGFyZXBvaW50LmNvbS86Zjovcy9Nb25yb2VPZmZpY2UvRXFwei1tR0F5NHRLZ2VrVDg5TVZjNmtCaHE4SlVy5FhtbTBOLVNsbVA2OU5l

We did do a last minute swap on the Phase Zero plans on Friday so only thought is that, if you downloaded the file from SharePoint, the website possbily hadn't yet refreshed at the time you downloaded the file from SharePoint. Either way, I apologize for any confusion this may have caused.

Please feel free to call me on my cell phone if you would like to discuss futher or have any additional questions.

Thank you,

Collene Byrne Project Manager



501 Main Street, Suite 2A Monroe, CT 06468 Cell: (716) 870-4554 Office: (203) 880-5455 Fax: (203) 880-9695

Collene@SolliLLC.com www.SolliEngineering.com

From: Pade, Neil <NPade@TownofCantonCT.org>
Sent: Wednesday, October 21, 2020 2:33 PM

To: Kevin Solli < Kevin@sollillc.com>; David J. Markowitz < dmarkowitz@hgesq.com>; Mark Greenberg < mark@markgreenbergrealestate.com>; Collene Byrne < Collene@sollillc.com>;

Richard Correia < rcorreia@rmbradley.com>

Cc: Deltenre, Renee <RDeltenre@TownofCantonCT.org>
Subject: FW: 9-15 Albany Turnpike - Drawing Discrepancies

Hi all:

Please be advised that there seems to be discrepancies between the digital and printed versions of the most recent plan set.

Please clarify what is the proper set of plans so we can ensure everyone on the commission, staff, applicant, public is reviewing the same set of plans.

Thanks,

Neil S. Pade AICP
Director of Planning and Community Development
Town of Canton, Connecticut
4 Market Street
PO Box 168
Collinsville, CT 06022-0168
860-693-7891 Phone
860-693-7884 Fax
npade@townofcantonct.org
www.townofcantonct.org

From: Deltenre, Renee

Sent: Wednesday, October 21, 2020 1:15 PM

To: Pade, Neil

**Subject:** 9-15 Albany Turnpike - Drawing Discrepancies

Hi Neil.

Attached are two words documents; one lists the drawings outlined in the electronic submission of the recently revised drawings, while the second lists the drawings outlined in the hard copy submission. As you'll be able to see, there is a difference once we reach the Architectural Drawings.

Thank you, Renée

Kellee

Renée Deltenre Community Development Coordinator Town of Canton



## **NOTICE TO APPLICANTS**

THIS AFFIDAVIT IS REQUIRED FOR ALL APPLICATIONS REQUIRING A PUBLIC HEARING BY THE PLANNING AND ZONING COMMISSION / ZONING BOARD OF APPEALS.

NOTE: PUBLIC HEARING SIGNS MUST BE POSTED ON THE SUBJECT PROPERTY 15 DAYS PRIOR TO THE PUBLIC HEARING DATE.

THIS FORM (SIGNED AND NOTARIZED) MUST BE PRESENTED AT THE PUBLIC HEARING.

AFFIDAVIT					
STATE OF CONNECTICUT  LITCHFIELDSS: COUNTY OF HARTFORD  I, MARK GRANGER of LITCHFIELD CONNECTICUTY (City, State)					
Being duly sworn, make oath and say that I have maintained sign(s) as required by the Canton Planning and Zoning Regulations, stating that a Planning and Zoning Commission / Zoning Board of Appeals application is pending for the following property:					
Date: 10 116 20 (Location of Property)  (Signature of Application Name of	all;				
Subscribed and sworn to before me this 16 day of October, 20 20  Must day of October, 20 20  (Notary Public)  Commission Expires 04-30-2024	MARYSA E. DAILEY Notary Public, Connecticus My Commission Expires April 30, 2024				
File Number: Application Number:					
Fifteen (15) continuous days beginning on prior to a public hearing scheduled for	_ and ending on				

Archived: Wednesday, October 21, 2020 4:33:38 PM

From: Collene Byrne

**Sent:** Wed, 21 Oct 2020 11:45:12 **To:** Pade, Neil; Deltenre, Renee

Cc: David J. Markowitz

Subject: 9-15 Albany Tpk - Sign Affidavit

**Importance:** Normal **Attachments:** 

20201016105558.pdf

**CAUTION:** This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

## Good morning,

I just wanted to confirm that your office received the original copy of the sign affidavit that was mailed to your office for the 9-15 Albany Tpk application. It would have arrived earlier this week. I have attached the scanned copy of the form.

Thank you,

Collene Byrne Project Manager



501 Main Street, Suite 2A Monroe, CT 06468 Cell: (716) 870-4554 Office: (203) 880-5455 Fax: (203) 880-9695

<u>Collene@SolliLLC.com</u> www.SolliEngineering.com Archived: Wednesday, October 21, 2020 4:32:54 PM

From: Pade, Neil

Sent: Wed, 21 Oct 2020 10:58:44

**To:** Deltenre, Renee **Cc:** Kyle, Emily

**Subject:** FW: La Trattoria property.

**Importance:** Normal

#### Please add to the file record

- Neil

----Original Message-----

From: Gary Adajian [mailto:gwaka@att.net] Sent: Monday, October 19, 2020 4:02 PM

To: Pade, Neil

Subject: La Trattoria property.

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Mr. Pade,

I understand that you would like feedback from the community on the property at 9-15 Albany Turnpike. I am in favor of this project, and I see it as a benefit to the Town, not a detraction. As I see it, Canton has not been the friendliest of towns as far as Business growth is concerned. I see businesses closing left and right, and not necessarily due to the pandemic. This was occurring long before that. Upon reading the article in the Valley Press, a couple of the opinions expressed in that article were from a negative viewpoint. Are those folks quoted even residents of the town? As far as the ridge creating a buffer, form what? Other businesses? I find this stance ridiculous! Where is the Valley Press getting these quotes from, it makes me wonder. Here's my stance, approve this project, and make Canton better, not mired in unacceptably stagnant commercial growth. I recall what happened to the Borghesi property at the west end of town along 44 near the border with New Hartford, and hope this project is not treated in the same fashion.

Sincerely,

Gary W. Adajian Canton Archived: Wednesday, October 21, 2020 4:32:35 PM

From: Pade, Neil

**Sent:** Wed, 21 Oct 2020 10:53:53

**To:** Deltenre, Renee **Cc:** Kyle, Emily

Subject: FW: Proposal at 9-15 Albany Turnpike

**Importance:** Normal

#### Please add to the file record

- Neil

----Original Message-----

From: Melissa Antarsh [mailto:antarshm@comcast.net]

Sent: Tuesday, October 20, 2020 1:04 PM

To: Pade, Neil Cc: Dave Antarsh

Subject: Proposal at 9-15 Albany Turnpike

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

#### Dear Mr. Pade:

I am a resident of Michael Drive in Canton. I am writing to express my concerns over the proposed development at 9-15 Albany Turnpike. I am concerned that this development will negatively impact our property. The proposal requires extensive site work and blasting of ridge. The removal of the ridge will impact the amount of traffic noise from Route 44 that we are able to hear from our property. In addition, the site work will negatively impact wildlife in the area.

I do not understand the need for a gas station when there are vacant gas stations in the area already. There are other vacant buildings and sites in the area that could be used without the need to alter the existing landscape that is so unique to our town. The proposed 20,865 square-foot electric vehicle showroom that will be visible on the natural slope is detrimental to our area. In addition, the amount of site work and natural resources that will be used to develop this EV showroom, service station, and gas station contradicts the nature of the site to be an alternate to traditional gasoline vehicles.

Thank you for your time and consideration.

Melissa Antarsh

#### CHAPTER II. LOCAL FIRE MARSHALS

## Sec. 29-349-108. Issuance of permits

Local Fire Marshals shall not issue a permit for any magazine not meeting the minimum specifications set forth in these regulations.

(Effective December 24, 1987)

## Sec. 29-349-109. Forwarding permits to commissioner

Local Fire Marshals shall retain a copy of each permit issued and shall immediately forward a copy of each permit to the State Fire Marshal.

(Effective December 24, 1987)

## Sec. 29-349-110. Refusal of permit

No Local Fire Marshal shall issue a permit to purchase, transport or use explosives until he is shown a license issued by the State Fire Marshal and is satisfied as to the identity of the applicant and as to what use will be made of the explosives.

(Effective December 24, 1987)

#### Sec. 29-349-111. Notification of permit refusal to State Fire Marshal

Whenever a Local Fire Marshal shall refuse to issue a permit to any person for the purchase, transportation or use of explosives, he shall immediately notify the State Fire Marshal.

(Effective December 24, 1987)

## Sec. 29-349-112. Reporting violations

Whenever a Local Fire Marshal finds evidence of a violation of a statute or regulations relative to the storage, transportation, or use of explosives, he shall immediately bring the matter to the attention of the State Fire Marshal.

(Effective December 24, 1987)

#### Sec. 29-349-113. Permit application

Every person desiring a permit to keep, store, sell, or deal in explosives shall make written application to the Local Fire Marshal. Said application shall be in duplicate on forms provided by the State Fire Marshal. On receipt of such application, the Local Fire Marshal shall proceed to make such inquiry as is necessary to determine whether the applicant is licensed by the State Fire Marshal and the magazine or premises meets all the requirements of these regulations and the applicable statutes. On finding that the magazine or premises complies with all statutory and regulatory requirements, the Local Fire marshal shall issue a permit to keep, store, sell and deal in explosives for a period of not more than one year. On finding that the magazine or premises do not comply with all statutory or regulatory requirements, the Local Fire Marshal shall refuse to issue a permit. Said denial shall be in writing, and shall contain the reason for the refusal. The Local Fire Marshal shall mail to the State Fire Marshal a copy of each application and each permit granted, or if the application was denied a copy of the denial.

(Effective December 24, 1987)

## Sec. 29-349-114. Revocation of license or permit for violations

Any license or permit issued in accordance with these regulations may be revoked at any time by State Fire Marshal for good cause.

(Effective December 24, 1987)

#### CHAPTER VI. USE OF EXPLOSIVES AND BLASTING AGENTS

#### Sec. 29-349-203. Record of shots fired

Each user of explosives for commercial blasting purposes shall keep a log book showing in detail, shots fired by him, giving the quantity of explosives used in each shot, the types, the date, time, name of the land owner, location in which the shot was fired, and the authority issuing the permit. Records shall be in a bound book not loose-leaf, and shall include the number of holes, diameter, depth and spacing, pounds, and type of explosives used, number of delay fuses, results of blast, and precautions taken.

(Effective December 24, 1987)

## Sec. 29-349-204. User, without magazine, limited to daily requirements

No user of explosives not having a licensed magazine shall have in his possession explosives beyond his daily requirements.

(Effective December 24, 1987)

## Sec. 29-349-205. Experienced persons only

The handling of explosives may be performed by the person holding a permit to use the explosives or by other employees under his direct supervision provided that such employees are at least 21 years of age.

(Effective December 24, 1987)

## Sec. 29-349-206. Protection of persons and property

- (a) Persons authorized to prepare explosive charges or conduct blasting operations shall use every reasonable precaution, including but not limited to warning signals, flags, barricades or woven wire mats to insure the safety of the general public and workmen.
- (b) In every case where a possibility exists either of a serious complaint or actual property damage from blasting vibration, the user shall provide approved seismic instrumentation to determine the actual magnitude of such ground vibration. The State Fire Marshal, may, on his own initiative, order the use of such instrumentation conducted by a professional service, and may determine the maximum vibration level.

(Effective December 24, 1987)

## Sec. 29-349-207. On the job explosives. Container

Original containers or Class 3 magazines shall be used for taking detonators and other explosives from storage magazines to the blasting area.

(Effective December 24, 1987)

#### Sec. 29-349-208. Smoking, drugs, liquor. Prohibited

When explosives are being handled or used, smoking shall not be permitted and no one near the explosives shall possess matches, open light or other fire or flame. No person shall handle explosives when under the influence of liquor or drugs.

(Effective December 24, 1987)

#### Sec. 29-349-209. Blasting precautions

When blasting is done in congested areas or in close proximity to a structure, railway or highway or any other installation that may be damaged, the blaster shall take special precautions in the loading, delaying, initiation and/or confinement of each blast with mats or other methods so as to control the throw of fragments, and thus prevent bodily injury or property damage.

(Effective December 24, 1987)

#### Sec. 29-349-210. Blasting on Sunday

Blasting operations may not be conducted on Sundays or between sunset and sunrise, except with special permission of the State or Local Fire Marshal.

(Effective December 24, 1987)

#### Sec. 29-349-211. Removal of explosives from magazine

No more than a reasonably necessary quantity of explosives or detonators shall be removed from the storage magazines.

(Effective December 24, 1987)

#### Sec. 29-349-212. Blasting precautions for areas of public utilities

Whenever blasting is being conducted in the vicinity of gas, electric, water, fire alarm, telephone, telegraph and steam utilities, the blaster shall notify the appropriate representative of such utilities and the Local Fire Marshal at least 24 hours in advance of blasting, specifying the location and intended time of such blasting. Verbal notice shall be confirmed with written notice. In an emergency, this time limit may be waived by the State or Local Fire Marshal.

(Effective December 24, 1987)

#### Sec. 29-349-213. Warning signs

During the period of any blasting operation which is being initiated electrically, the blaster, contractor, or person in charge shall cause signs to be erected on all

adjacent highways at a point 350 feet from the blasting site to warn motorists not to use two-way radios. These signs shall be placed on the road just prior to the loading of the holes, and shall be removed immediately after the blast is completed.

(Effective December 24, 1987)

## Sec. 29-349-214. Blasting caps

Electric blasting caps of different manufacturers shall not be used in the same blast regardless of the manner of connection.

(Effective December 24, 1987)

## Sec. 29-349-215. Amount of explosives at blast site

Under no circumstances shall the amount of explosives taken into a blast area exceed the amount estimated by the blaster as necessary for the blast. Such explosives shall be properly stacked and at such distance apart that any premature explosion will not be likely to propagate from one pile to another.

(Effective December 24, 1987)

## Sec. 29-349-216. Empty containers. Destruction

Empty boxes and paper and fiber packing materials which have previously contained explosives shall not be used again for any purpose, but shall be destroyed by burning at an approved isolated location out of doors, and no person shall be nearer than 100 feet after the burning has started.

(Effective December 24, 1987)

#### Sec. 29-349-217. Use of damaged material

Explosives or blasting equipment that are obviously deteriorated or damaged shall not be used.

(Effective December 24, 1987)

#### Sec. 29-349-218. Abandoned explosives

No explosives shall be abandoned.

(Effective December 24, 1987)

#### Sec. 29-349-219. Open flames prohibited

No open flame light shall be used in the vicinity of explosives. (Effective December 24, 1987)

## Sec. 29-349-220. Blasting operations

Blasting operations shall be conducted in accordance with nationally recognized good practices.

(Effective December 24, 1987)

#### Sec. 29-349-221. Water soaked explosives

No person shall attempt to reclaim or use blasting caps, electric blasting caps or other explosives that have been water soaked, even if dried out.

(Effective December 24, 1987)

#### Sec. 29-349-222. Minimum current

A circuit shall not be fired electrically with less than the minimum current specified by the manufacturer.

(Effective December 24, 1987)

## Sec. 29-349-223. Blasting cap containers

Electric blasting caps shall be kept in their original container or in a closed metal box lined with a soft material such as wood or sponge rubber. The coils and folds

in the wires of electric blasting caps should not be straightened out until made ready for use.

(Effective December 24, 1987)

#### Sec. 29-349-224. Extraneous electricity hazards

Blasting areas shall be surveyed for possible hazards caused by extraneous electricity. Non electric initiation shall be used if a current testing device shows more than 0.06 ampere.

(Effective December 24, 1987)

#### Sec. 29-349-225. Drill hole size

All drill holes shall be sufficiently large to admit freely the insertion of the cartridges of explosives.

(Effective December 24, 1987)

#### Sec. 29-349-226. Tamping

Tamping shall be done only with wood rods without exposed metal joints, but non-sparking metal connectors may be used for jointed poles. Plastic tamping poles may be used, provided they have been approved by the State Fire Marshal. Violent tamping shall be avoided.

(Effective December 24, 1987)

#### Sec. 29-349-227. Loading of holes

No holes shall be loaded except those to be fired in the next round of blasting. After loading, all remaining explosives shall be immediately returned to an authorized magazine.

(Effective December 24, 1987)

## Sec. 29-349-228. Examination for unexploded explosives

Drilling shall not be started until all remaining butts of old holes are examined for unexploded charges, and if any are found, they shall be handled by or under the supervision of a competent and experienced person.

(Effective December 24, 1987)

#### Sec. 29-349-229. Deepening drill holes

No person shall deepen drill holes which have contained explosives. (Effective December 24, 1987)

## Sec. 29-349-230. Loading holes completed—return explosives to magazine

After loading for a blast is completed, all excess blasting caps or electric blasting caps and other explosives shall immediately be returned to their separate storage magazines.

(Effective December 24, 1987)

#### Sec. 29-349-231. Fuses. Length

Safety fuse shall be cut sufficiently long to extend beyond the collar of the hole, and sufficient in length to assure ample time in retiring from the blast, and shall be not less than three feet in length.

(Effective December 24, 1987)

#### Sec. 29-349-232. Fuses into cap

Safety fuse shall be cut squarely across and not at a slant. At least one inch of safety fuse shall be cut off, and the freshly cut end immediately inserted into the

blasting cap and crimped with a standard crimper so that the safety fuse is seated against the detonating composition in the cap.

(Effective December 24, 1987)

## Sec. 29-349-233. Cartridges

Cartridges for use in blasting shall be primed only as required for immediate use. (Effective December 24, 1987)

## Sec. 29-349-234. Leading wires

Rubber covered or equally insulated wires in good condition shall be used for leading wires. Permanent lines shall be properly supported and insulated and of sufficient size to provide theoretical current requirements for the maximum proposed blast allowing for the ultimate length of the firing line. The firing circuit should be kept completely insulated from the ground or other conductors such as bare wires, tails, pipes or other paths of stray currents.

(Effective December 24, 1987)

## Sec. 29-349-235. Equipment of blaster

Each blaster shall be equipped with a galvanometer and blasting machine in good working order; and shall be further equipped with fuse cutters and cap crimpers if cap and fuse is used.

(Effective December 24, 1987)

## Sec. 29-349-236. Short circuiting leading wires

Prior to firing shots electrically, the leading wires shall be kept short circuited until ready to actually fire the shot.

(Effective December 24, 1987)

#### Sec. 29-349-237. Testing of circuits

Blasters, when testing circuits to charge holes, shall use only blasting galvanometers designed for this purpose.

(Effective December 24, 1987)

#### Sec. 29-349-238. Loading and drilling restricted

No loading operation shall be conducted within 25 feet of a drilling operation. (Effective December 24, 1987)

#### Sec. 29-349-239. Springing holes

Drill holes shall not be sprung unless they are more than 100 feet from the nearest hole containing explosives. Holes that have been sprung shall not be charged with explosives until the maximum temperature in any portion of such hole has been reduced to less than 150°F. If an accurate method of measuring the temperature is not available, the hole shall not be reloaded for at least two hours. Sprung holes may be cooled by the addition of sufficient water.

(Effective December 24, 1987)

#### Sec. 29-349-240. Stemming

Stemming shall consist of clean fine clay, sand or crushed rock screenings. The use of leaves or trash is prohibited. Each blast hole shall be stemmed to the collar or to a point high enough to provide sufficient confinement of the charge and to minimize the chance of injury to personnel from flying material.

(Effective December 24, 1987)

## Sec. 29-349-241. Misfire. Suspected

If a misfire is suspected, all wires or commercial detonating fuse in broken rock shall be carefully traced and search made for unexploded cartridges. If recovery is not made, the Local Fire Marshal shall be notified.

(Effective December 24, 1987)

## Sec. 29-349-242. Misfire. Investigation

No person shall be permitted to examine a shot after a misfire until specifically authorized by the person in charge of the blasting operations. If practicable, the misfired charge shall be re-primed and fired. Misfires shall be handled only by or under the direction of a competent and experienced person.

(Effective December 24, 1987)

#### Sec. 29-349-243. Misfire. Precautions

If a misfire occurs or is suspected, no person shall return to the victinity of the misfire until at least one hour after the misfire if the shot was cap and fuse firing, or minimum of 30 minutes for electric firing. If there is reason to believe that the explosive is burning in the hole, no person shall return to the vicinity of the misfire for at least 12 hours, and the site shall be guarded in the interim.

(Effective December 24, 1987)

## Sec. 29-349-244. Airline hose prohibited within twenty-five feet

In no case shall an airline hose be permitted to be located within 25 feet of a loading operation or a space where explosives are stored or handled.

(Effective December 24, 1987)

## Sec. 29-349-245. Loaded holes to be guarded. Warning whistle

When a charge of explosives has been loaded there shall be a constant guard over same until the blast is fired. Before a blast is fired, a loud warning signal shall be given by the person in charge, who has made certain that all surplus explosives are in a safe place, all persons and vehicles are at a safe distance or under sufficient cover, and that an adequate warning has been given. Said guard shall remain until the person in charge is reasonably certain there have been no misfires.

(Effective December 24, 1987)

## Sec. 29-349-246. Blasting caps in congested areas

Only electric blasting caps or commercial detonating fuse shall be used for blasting operations in congested districts, or on highways, or adjacent to highways open to traffic, except where sources of extraneous electricity make such use dangerous.

(Effective December 24, 1987)

## Sec. 29-349-247. Cap crimpers

When fuse is used, the blasting cap shall be securely attached to the fuse with a standard ring type cap crimper. All primers shall be assembled at least 50 feet from any magazine.

(Effective December 24, 1987)

#### Sec. 29-349-248. Accidents, thefts, fires to be reported

All accidents, thefts or fires occurring with the use of explosives shall be reported to the Local Fire Marshal immediately by verbal communication and, within 24 hours, shall report in detail the chronological events pertaining to same, in writing, to the State Fire Marshal.

(Effective December 24, 1987)

## Sec. 29-349-249. Inserting. Blasting caps

No blasting cap shall be inserted in the explosives without first making a hole in the cartridge for the cap with a wooden or non-ferrous metal punch of proper size or standard cap crimper.

(Effective December 24, 1987)

## Sec. 29-349-250. Misfired explosives, not to be dug out

Explosives shall not be extracted from a hole that has once been charged or has misfired unless it is impossible to safely detonate the unexploded charge by insertion of a fresh additional primer.

(Effective December 24, 1987)

#### Sec. 29-349-251. Lead wire connector to fire shot

Only the man making leading wire connections in electric firing shall fire the shot. All connections should be made from bore hole back to the source of the firing current, and the leading wires shall remain shorted and not be connected to the blasting machine or other source of current until the charge is to be fired.

(Effective December 24, 1987)

## Sec. 29-349-252. Extraneous electricity. Precautions

Due precautions shall be taken to prevent accidental discharge of electric blasting caps from current induced by radar, radio transmitters, adjacent power lines, lightning, dust storms and other sources of extraneous electricity. The precautions shall include:

- (c) The suspension of all blasting operations regardless of the method of initiation and removal of persons from the blasting area during the approach and progress of an electric storm.
- (d) Special precautions may be required by the State Fire Marshal when blasting operations are conducted in a radar environment.
- (e) Electric blasting shall not be carried out at lesser distances from radio transmitter antennas than is set forth in the following table:

#### Distances for AM Transmitters (Fixed or Mobile)

Transmitter Power	Minimum Distance
in Watts	in Feet
5 — 25	100
25 — 50	150
50 — 100	220
100 — 250	350
250 — 500	450
500 — 1,000	650
1,000 - 2,500	1,000
2,500 — 5,000	1,500
5,000 — 10,000	2,200
10,000 - 25,000	3,500
25,000 - 50,000	5,000
50,000 - 100,000	7,000

Sec. 29-349 page 34 (5-98)

§ 29-349-252 Department of Public Safety

## Distances for FM Mobile Transmitters

Transmitter Power	Minimum Distance	
in Watts	in Feet	
1 — 10	5	
10 — 30	10	
30 — 60	15	
60 - 250	30	
250 — 600	45	

Where the power of an FM or TV transmitter exceeds 100,000 watts, electric blasting shall be conducted at a distance of at least 600 feet or more. No electric blasting will be carried out at lesser distances than in the aforesaid tables without the specific permission of the State Fire Marshal. (Effective December 24, 1987)

Archived: Wednesday, October 21, 2020 4:31:39 PM

From: Tharau, Timothy

Sent: Wed, 21 Oct 2020 08:23:16

To: Pade, Neil
Cc: Deltenre, Renee
Subject: RE: Blasting
Importance: Normal
Attachments:

Blasting requirment for Use.docx;

Here copy of Laws for what is need for blasting

Timothy J. Tharau

From: Pade, Neil

Sent: Tuesday, October 20, 2020 11:32 AM

**To:** Tharau, Timothy **Cc:** Deltenre, Renee **Subject:** Blasting

Hi Tim -

As part of the PZC hearing on the proposal at 9-15 Albany Turnpike, there were a lot of question from Simsbury regarding blasting. I anticipate the same will occur during the Canton hearing.

Do you have a summary of the blasting permit process, requirements those applying for it have to meet, etc.. that we can enter into the record so the members of the commission and public are adequately aware of that process and what it entails?

Thanks,

Neil S. Pade AICP
Director of Planning and Community Development
Town of Canton, Connecticut
4 Market Street
PO Box 168
Collinsville, CT 06022-0168
860-693-7891 Phone
860-693-7884 Fax
npade@townofcantonct.org
www.townofcantonct.org

Archived: Wednesday, October 21, 2020 4:31:11 PM

From: Pade, Neil

**Sent:** Tue, 20 Oct 2020 15:24:07

To: Deltenre, Renee

Subject: FW: Referral from Canton - 9-15 Albany Turnpike

**Importance:** Normal

Please add to the file record, thanks

- Neil

**From:** North Central Conservation District [mailto:tollandc@snet.net]

Sent: Tuesday, October 20, 2020 3:16 PM

To: Pade, Neil

Subject: Referral from Canton - 9-15 Albany Turnpike

**CAUTION:** This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Hi Neil,

I'm writing to let you know that the E&S plan certification for this project will not be ready tomorrow. I'd like to more thoroughly address E&S as it relates to the up to 50 foot grade changes that are proposed.

Please let me know if there are any questions.

Take care,

ВК

Barbara Kelly, Project Coordinator
Registered Professional Soil Scientist
North Central Conservation District Inc.
24 Hyde Avenue
Vernon, CT 06066
860-875-3881
tollandc@snet.net

Archived: Wednesday, October 21, 2020 4:30:35 PM

From: Pade, Neil

Sent: Mon, 19 Oct 2020 15:09:22

To: Deltenre, Renee

**Subject:** FW: 9-15 Albany Turnpike Signage Review

**Importance:** Normal

#### - Neil

From: Kyle, Emily

**Sent:** Monday, October 19, 2020 3:05 PM

To: Pade, Neil

Subject: 9-15 Albany Turnpike Signage Review

Hi Neil,

I've reviewed the proposed signage at 9-15 Albany Turnpike per the renderings dated 10/16/2020 and the elevation drawings dated 10/15/2020.

## Wall signage-

If there is only one tenant in the electric vehicle showroom building, only one sign would be allowed with a maximum square footage of 50 square feet (building less than 150' from the street, Table 7.3.D). If there are four tenants as implied with the renderings, signage for each occupant cannot exceed 24 square feet, and total building signage cannot exceed 1.0SF per linear foot of building frontage. The secondary, interior sign is prohibited if the outside (Albany Turnpike side) has signage.

The convenience store building is permitted a greater maximum of square footage in wall signage as the building is set farther away from the road. Understanding this is a multiple occupant building, signage for any single occupant shall not exceed 36 SF and total building signage shall not exceed 1.5 SF per linear foot of building frontage. The signage proposed in the "left" "rear" and "right" elevations would not be allowed.

## **Ground signage-**

The Proposed Gas Station ground sign would require a special permit as it is taller than 10'. The Proposed Auto Showroom ground signage appears compliant but we would need more information on the lighting.

I would recommend that the applicant revises signage proposals to comply with Canton's Zoning Regulations or the applicant applies for Special Permits for the proposed signage exceeding our regulations both in size, height, and quantity.

Please let me know if you have any questions.

Emily Kyle, CZEO Assistant Town Planner, ZEO, IWWA Agent Town of Canton, Connecticut 4 Market Street **Archived:** Tuesday, October 20, 2020 11:24:41 AM

From: Pade, Neil

**Sent:** Tue, 20 Oct 2020 11:22:18

**To:** Deltenre, Renee **Cc:** Kyle, Emily

Subject: FW: 9-15 Albany Turnpike - Viewshed Considerations

**Importance:** Normal

Can you add the message below to the last page of the meeting packet?

- Neil

From: Pade, Neil

**Sent:** Tuesday, October 20, 2020 11:22 AM

To: 'David J. Markowitz'

**Subject:** 9-15 Albany Turnpike - Viewshed Considerations

Hi David -

We received the paper copies of the revised plans, fee, and forms around 11 AM today. I have not yet looked at the plans other than the updated renderings.

Along the lines of our conversation yesterday, it is difficult to reconcile the building design and associated aesthetics and character with the special permit criteria referenced in the staff report.

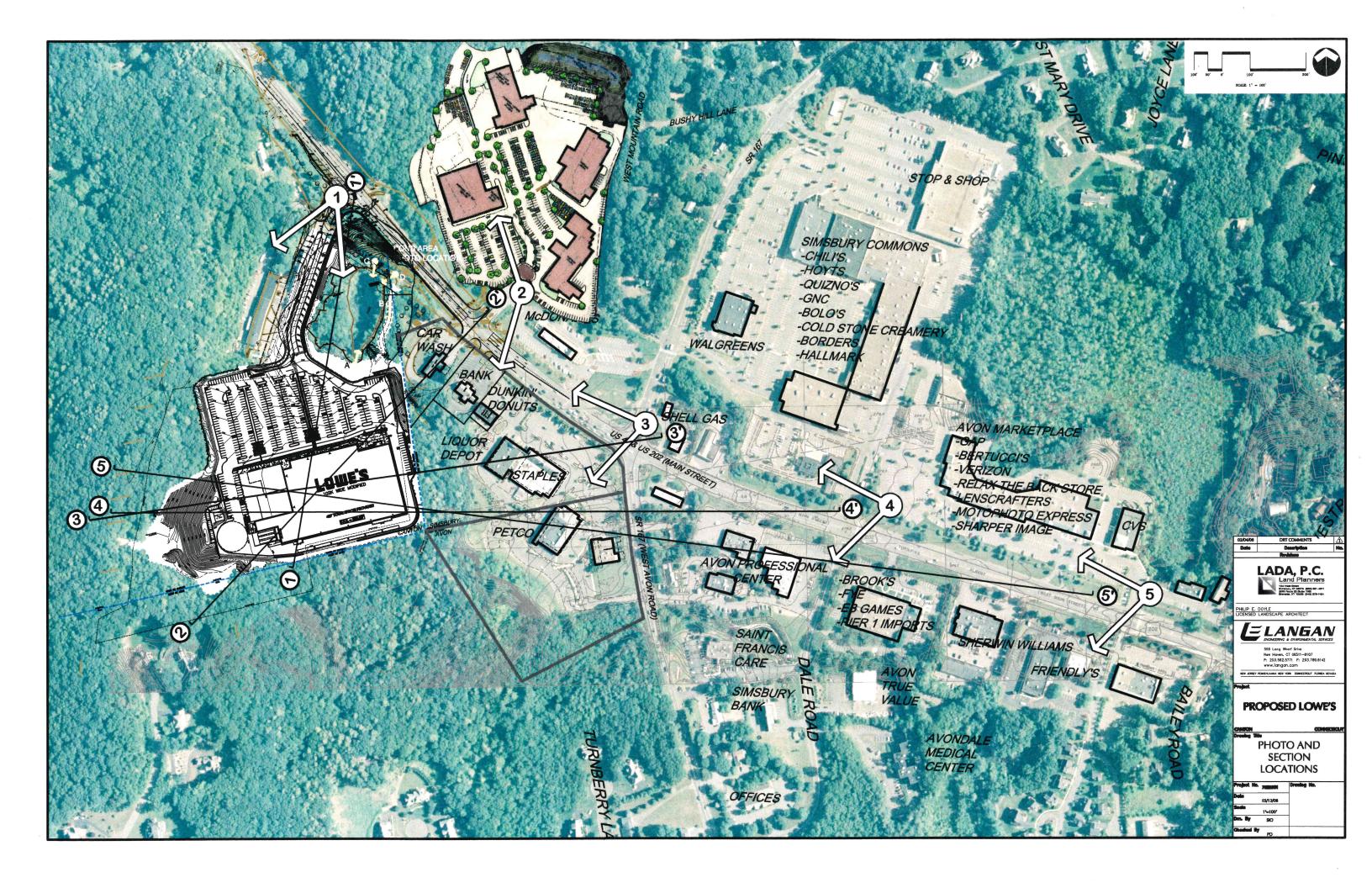
As mentioned the information provided does not clearly present the relationship of the two buildings together that are proposed to share this site, or to the context of the area. As a gateway into Canton, I think it is important that the Commission and public have an understanding of what the final site would look like, inclusive of site work, representation of final grades and the buildings placed upon them, presented at actual vantage points. While the renderings are impressive, they are not a realistic representation of what the community will see if the projects is approved and constructed as proposed.

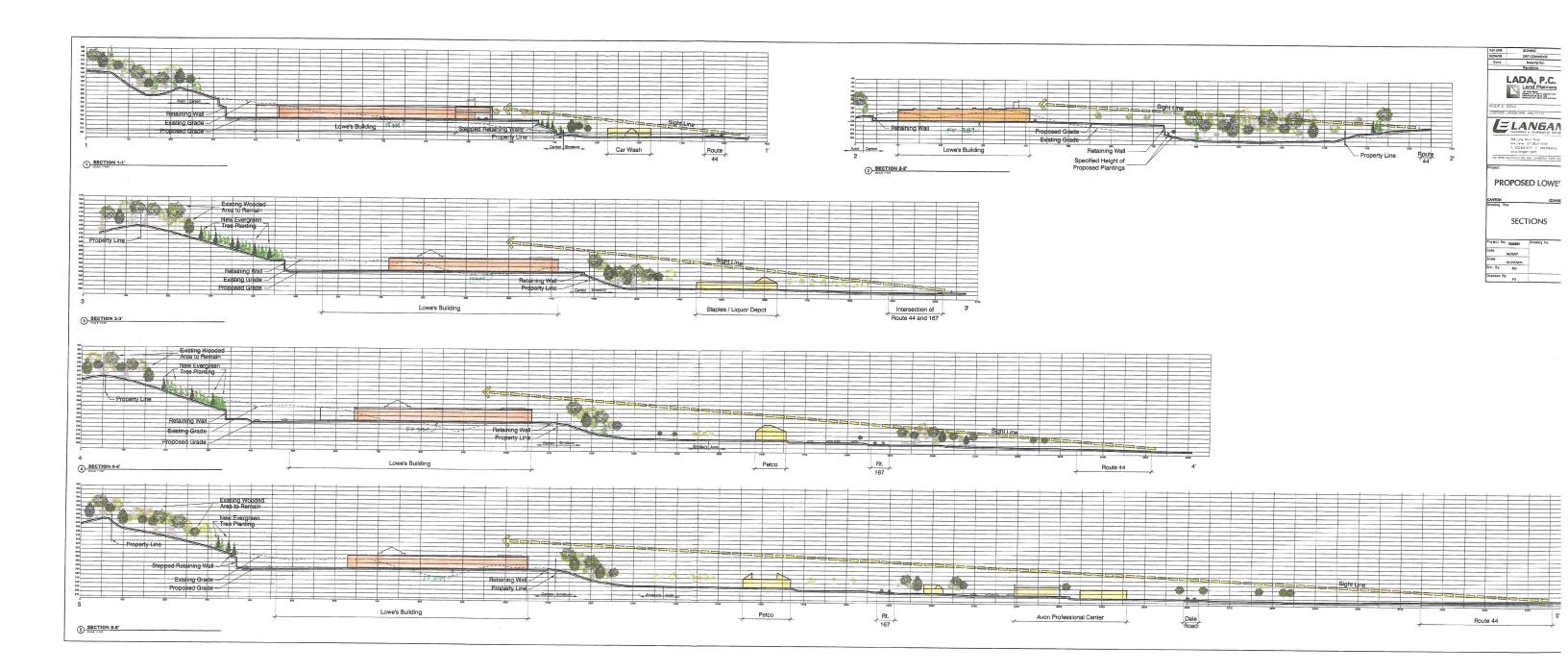
Therefore I have added into the packet examples of what has been provided in the past in a similar application, relatively in the same location, to show what the anticipated changes to the viewshed would be. The examples are too big to attach, but they are included on Pages 130 – 137 of the meeting packet. I would like to see something similar provided for this project in addition to something that shows the two buildings together on the site in the same image, at the appropriate grades and realistic vantage point.

That being said, I would hold off on expending any time and resources on this request unless requested by the Commission.

Best,

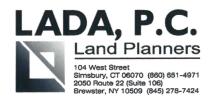
Neil S. Pade AICP
Director of Planning and Community Development
Town of Canton, Connecticut
4 Market Street
PO Box 168
Collinsville, CT 06022-0168
860-693-7891 Phone







Existing Conditions



VIEW FROM MAIN ENTRY
Lowe's Home Improvement Center

MAR 2. 2 2008

LAND USE OFFICE



**EXISTING CONDITIONS** 



VIEW FROM HOFFMAN ENTRY

Lowe's Home Improvement Center



Existing Conditions



VIEW FROM ROUTE 44

Lowe's Home Improvement Center



BUILDING LOCATION



Proposed Conditions



# VIEW FROM MAIN ENTRY DRIVE

Lowe's Home Improvement Center FEB. 08



Building Location



Proposed Conditions



## VIEW FROM HOFFMAN ENTRY

Lowe's Home Improvement Center Feb. 08



BUILDING LOCATION



Proposed Conditions



## VIEW FROM ROUTE 44

Lowe's Home Improvement Center Feb. 08

Archived: Tuesday, October 20, 2020 10:33:36 AM

From: Pade, Neil

**Sent:** Tue, 20 Oct 2020 10:13:29

To: Deltenre, Renee Cc: Kyle, Emily

**Subject:** FW: Planning and Zoning Meeting - EV Car Dealer Development Plan

**Importance:** Normal

Please add to the file record, I will respond with the meeting information and packet location.

#### Thank you.

Neil

**From:** John Pech [mailto:john.pech@comcast.net] **Sent:** Tuesday, October 20, 2020 10:06 AM

To: Pade, Neil

Cc: Ide-Pech@comcast.net

**Subject:** Planning and Zoning Meeting - EV Car Dealer Development Plan

**CAUTION:** This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

#### Hi Neil,

I am a Canton resident and have lived on Barbourtown Rd since 1989. I grew up in Simsbury and have always enjoyed the mountain ridge that has been the entry to Canton. Since 1975 I have been driving route 44 through the mountain pass into Canton enjoying the rock ledges and feeling like I am leaving suburban sprawl behind. In the 1970s while in college I worked for Oliver Jones limited which was a sports car dealership located where Mitchell VW is, I also worked at Canton Sunoco located where the Quick Lube is by the Ace Hardware mall. I moved to Canton because it is more rural than Avon and Simsbury and has terrain that I thought would protect Canton from excessive development and unattractive over development on route 44 in Avon.

I support an electric vehicle car dealership but do not feel the developer needs to blast our mountain apart to develop the site. They could place the dealer ship where the restaurant and single family home is located with some minor blasting behind the restaurant if they need a bit more space. I think the mountain should be preserved mostly as is. It is a majestic natural entrance to our beautiful town. Some development is okay as long as we work with the land and not destroy its natural beauty.

There are other less difficult sites in Canton such as the proposed Lowe's store behind the car wash on the south side of route 44 that might be able to utilize the existing traffic light for the car wash and Best Buy. I think other options should be considered and we should not approve blasting our mountain away to allow developers and land owners to maximize their profits at the expense of our town character.

With regard to another gas station, why? There are two on the corner of routes 167 and 44 and we have an abandoned one in Canton on 44 that could easily be restored to working order. The EV car dealership could have charging stations as part of the dealership and should not need a gas station too, after all they are

promoting electric cars. Again, I support an electric car dealership, but not as the icon or monument that greats everyone as they enter our town. I would like to attend the Planning and Zoning Zoom meeting this Wednesday to hear more about the project and comment on other possibilities. Is there a link to the Zoom meeting?

Best regards, John Pech



October 16, 2020

Mr. Neil Pade, AICP Director of Planning and Community Development Town of Canton 4 Market Street PO Box 168 Canton, CT 06022

**RE:** Site Plan & Special Permit Application

9-15 Albany Turnpike (Route 44 & Route 202)

Canton, Connecticut Project Number: 1904501

Dear Mr. Pade:

In response to the staff comments issued on September 29, 2020, we have prepared this letter to summarize the application material changes that have been made to address the comments issued. Additionally, the site layout was revised to include building footprint changes to the electric vehicle showroom since the initial submission. These changes refined the internal layout of the building to better accommodate the site constraints, positioning the service component of the building on the east side of the site, which lies in Simsbury.

- A revised application form was submitted on October 6, 2020 which included modifications to request special permits for Class I & II restaurants, as well as, Outdoor Storage and Display. A special permit for automobile service is not requested as this portion of the proposed development falls within the Town of Simsbury. A request for special permit was also not included as alcohol sales are not proposed at the site. Requests for Excavation and Grading Permit, as well as, Soil and Erosion Control Plan Certification were added to the application and all application fees were adjusted accordingly.
- Abutters were re-noticed and proof of mailing was submitted to the Town on October 7, 2020 via email.
- A notarized sign affidavit from the applicant will be submitted in advance of the public hearing.
- A submission was made to North Central Conservation District on October 6, 2020 and additional requested materials were provided on October 9, 2020.
- The Conservation Commission reviewed the application at their October 6, 2020 meeting and a letter of recommendation was issued on October 14, 2020.
- The Connecticut Water Company offered comments in a letter to the Town on September 15, 2020. A summary of the changes made to address the comments was provided to the Town on October 2, 2020. Solli Engineering is scheduled to meet with CT Water Company to review the latest site layout on October 19, 2020.
- An application was made to WPCA on October 14, 2020. The applicant is in the process of meeting with WPCA and Simsbury representatives to review the appropriateness of a multi-town agreement.
- Solli Engineering met with CTDOT representatives from District 4, OSTA, and Traffic Engineering on October 16, 2020 to review the project and the proposed improvements to the State highway.
- A westbound right-turn lane has been added to the Off-Site Plan (Site 4.11) which extends to the right-out driveway and may act as an acceleration path for exiting vehicles and provides 4' shoulders.
- Cost estimates, as required by the Regulations, have been prepared and are included in this submission.
- The key map scale on sheet 0.00 has been revised to 1"=500'.
- The Title Block has been revised to include the developer/applicant/owner information.
- Site Playout Plan, Sheet 2.11, has been revised to include data for all required items for the Zoning Schedule.
- The limits of the Aguifer Protection Area have been depicted on all plan sheets.

- Stormwater facilities items covered on the grading and drainage plan are also shown on the Utility Plan legend.
- Revised architectural plans are provided in this submission, including HVAC and lighting locations, with finish material specifications.
- Computer renderings for the site are included in this submission.
- The landscape plan has been revised for the modifications to the site layout, as well as, the staff comments. A request letter was also submitted for the Commission's consideration regarding the 10' front yard landscape area due to unique site constraints, in accordance with Section 7.1.H.1.
- The plan set has been revised to provide concrete curbing.
- The parking summary table on the Site Layout Plan, Sheet 2.11, has been revised per staff comments. Individual uses are broken out and square footage for each use provided.
- A request letter for permanent parking reduction with justification for such has also been submitted to the Commission.
- The site layout has been revised to provide interconnectivity to adjacent lots and internal connectivity for pedestrians.
- Snow storage areas have been identified on the Site Layout Plan, Sheet 2.11.
- The lighting plan has been revised to coincide with the architectural elevations.
- The plans have been revised to provide buffers around the building in areas where building entrances, loading areas and the drive-thru window are not proposed.
- Checklist 1.7 is included in this submission along with the required supplemental materials.
- Top of wall and bottom of wall elevations have been added to the plans, along with fence height.
- A truck turning figure demonstrating the ability for the Canton Fire Department to access the site is included in this submission.
- Bicycle parking has been added to the plan set and included in the Site Layout Plan, Sheet 2.11, parking summary table.
- Benches have been incorporated into the site design.
- Additional sidewalks of conforming width have been added to the site layout, including along both site
  driveways, the property frontage, and internal to the site. Crosswalks have also been incorporated at all
  pedestrian crossings.
- Outdoor display area for the electric vehicle showroom has been identified on the plan sheets.

Please let us know if you have any questions or comments regarding the above items and associated submitted materials. We look forward to continuing to work with you in the processing of this application.

Respectfully,

Solli Engineering, LLC

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Kevin Solli, PE Principal

Enclosures: Plan Set Checklist 1.7 & Supplemental Materials Request for Modification Site Renderings Engineering Report

**SOLLI** ENGINEERING



October 16, 2020

Mr. Neil Pade, AICP Director of Planning and Community Development Town of Canton 4 Market Street PO Box 168 Canton, CT 06022

**RE:** Site Plan & Special Permit Application

9-15 Albany Turnpike (Route 44 & Route 202)

Canton, Connecticut Project Number: 1904501

Dear Mr. Pade:

In response to the staff comments issued on September 29, 2020, we have prepared this Request for Modification by the Planning & Zoning Commission the following items in accordance the Town of Canton Zoning Regulations:

- Section 7.1.D.1 there shall be a landscaped area at least ten feet (10') in width along the perimeter of the front yard
  - O Due to site constraints, a 10' landscaped area along the perimeter of the front yard could not be reasonably provided within the property limits, however, the applicant has provided additional landscape along the front property within the State Right-of-Way. The applicant respectfully requests that the Commission consider the plantings outside the property line along the front yard to satisfy the requirements under Section 7.1.D.1.
- Section 7.1.D.3.a The landscaped area referenced to in Section 7.1.D.1 and 7.1.D.2 above shall contain at least one (1) shade tree for each forty (40) feet or fraction thereof, of the corresponding lot line.
  - O Per section 7.1.H.1 of the Zoning Regulations, the applicant respectfully request the Commission modify the requirements noted above as site constraints limit the location of tree plantings, however, the applicant has provided additional trees in other areas of the site to supplement areas where site constrains prohibited tree plantings.
- Section 7.2.C.9 Potential permanent reduction of the cumulative number of required parking spaces within a development containing more than one use.
  - The applicant respectfully requests a permanent reduction of 16 parking spaces proposed on the site. The gas station, convenience store, and coffee shop are expected to experience their peak demands during the AM peak period, while the electric vehicle showroom is expected to experience peak demands outside of the AM peak period. The varying peak periods of parking demand between the uses will result in a lower net peak parking demand overall. The site also proposes uses which are complementary to one another and encourage shared trips, which will further reduce parking demand. For example, a patron having their car serviced or charged may patronize the coffee, sandwich, or ice cream shop during the same visit. The development also provides improvements to accommodate alternate modes of transportation. The inclusion of sidewalks along the property frontage and internal to the site, bike racks, outdoor dining, and benches on site will further encourage alternative modes of transportation which will reduce overall parking demand. It is the professional opinion of Solli Engineering that the reduction of 16 parking spaces, for a total of 116 spaces on site, will satisfy the parking demand of the combined uses.

Please let us know if you have any questions or comments regarding the above items and associated submitted materials. We look forward to continuing to work with you in the processing of this application.

Respectfully,

Solli Engineering, LLC

Kevin Solli, PE Principal

 $X: \\ XE Files \\ Project Data \\ 2019 \\ 1904501 - Albany Turnpike, Simsbury \\ Office Data \\ Correspondence \\ 2020-10-16 - Town of Canton - Request for Modification Letter. \\ document for Modification Letter. \\$ 



# 1.7. ADDITIONAL REQUIREMENTS FOR EARTH EXCAVATION IN CONNECTION WITH SPECIAL PERMIT ACTIVITY

#### 1. Copies

Unless otherwise specified by herein, each application shall be submitted with fifteen (15) copies of the following information.

#### 2. Application Form

A completed application form, as adopted by the Commission, bearing the original signature(s) of the owner(s) of record, or letter of authorization from the owner to a designated agent.

#### 3. Application Fee

The complete application fee, as required by Chapter 248 of the Town Code. This may include additional review fees for technical expertise, engineering, and other reviews if required by the Commission.

#### . Narrative

Copies of a statement indicating the purpose of the excavation and/or filling.

#### . Narrative

A written statement indicating the number of cubic yards of material to be imported and/or exported; the hours and days of the week for the operation; and the number, kind, and size of vehicles, number of trips by each vehicle, and other equipment to be used

# $\sqrt{\phantom{a}}$

#### Schedule

A schedule, certified by a professional surveyor or engineer, specifying in square feet the:

- 1. lot area;
- yard setbacks;
- area of wetlands and watercourses, as determined by a professional soils scientist;
- 4. total disturbed area;
- 5. total cuts; and
- 6. total fills.

#### 7. Plan

Copies of a plan, drawn to an appropriate scale, showing:

- 7.1. A survey prepared by a professional surveyor identifying spot elevations and contours at intervals not greater than two (2) feet extending for a distance of two hundred (200) feet beyond the boundaries of the site;
- 7.2. Location and extent of watercourses, wetlands and boundaries of land subject to periodic flooding on the site and for a distance of two hundred (200) feet beyond the boundaries of the site; and
- 7.3. The soil types and their location as identified in the soil survey of the Town of Canton prepared by the U.S. Soil Conservation Service;
- $\Box$  7.4. Lots and streets within 500 feet;
- $\Box$  7.5. Lot lines and streets adjoining the lot and the names of owners of each abutting the lot;
- ☐ 7.6. The location and exterior limits of the area to be excavated, graded or filled;
- The existing and proposed contour lines on the parcel, drawn to a scale of not less than 40 feet to the inch and with a contour interval not exceeding two (2) feet;
- $\Box$  7.8. The location of any areas for the staging or storage of material;
- Type 27.9. Existing and proposed drainage on the lot and existing watercourses, waterbodies, and wetlands on or within 200 feet of the parcel;
- $\Box$  7.10. Proposed vehicular access to and circulation within the lot;
- 7.11. The location on the lot of any wooded areas, rock outcrops and existing and proposed buildings, structures and processing equipment;
- □ 7.12. Exiting or proposed site drainage;
- $\Box$  7.13. Existing groundwater table.

## abla

#### 8. Report

An engineering report including statements on traffic safety, noise, grading, landscaping, and erosion control methods;



### 9. Markings

A surveyor's statement certifying that the areas planned for immediate and future excavation have been staked out in a permanent manner visible to operators during excavation;



#### 10. Timeframe/ Schedule

An engineering plan detailing, over a period of time not to exceed two years, the manner in which the site owner/operator intends to progress in furthering site excavation and extraction of earth material;



#### 11. Erosion

An Erosion and Sedimentation Control Plan in compliance with the Connecticut Department of Environmental Protection 2002 Guidelines for Soil Erosion and Sediment Control (CTDEP Bulletin 34) for all new construction showing the location, design, dimensions, and details of all existing and proposed erosion and sedimentation controls necessary to demonstrate compliance with Section 7.6 and the Requirements for Erosion and Sediment Control Checklist.



#### 12. Ponding

If a pond may result due to excavation below normal water table, the application shall also include:

- ☐ 12.1. A drainage analysis showing watershed area;
- $\hfill \square$  12.2. Computations of water inflows and outflow; and
  - 12.3. Calculations and confirmation that the pond's water supply and its water inflow and outflow will be adequate to avoid stagnation and will not be hazardous to surrounding land uses.



#### 13. Processing

Detailed plans, specifications and other information necessary to describe any earth material processing, screening and rock crushing.

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#### 14. Re-use

A re-use plan establishing that upon reaching finished grades, the site will be suitable for development of a use that is permitted in the subject zone.



#### 15. Costs

Itemized costs estimates by a professional engineer for all <u>site improvements</u> and the <u>installation of all erosion and sediment controls</u> based on published Connecticut DOT unit prices.



## 16. Additional Information

Any other information which in the Commission's judgment will assist in evaluating the proposal.



#### 17. Additional Considerations

In cases of excavation, filling, removal, dredging earth material processing, rock crushing, screening or other grading within the limits of the Flood Plain District, the Commission may further consider:

- □ 17.1. Any approval of the Connecticut Department of Environmental Protection and/or the U.S. Army Corps of Engineers;
- □ 17.2. Possible deleterious effects of the proposed work in regard to flood or pollution, either before or after completion; and
- □ 17.3. Lateral support slopes, grades and elevations of abutting streets and properties.

**Archived:** Friday, October 16, 2020 10:30:31 AM

From: Collene Byrne

**Sent:** Fri, 16 Oct 2020 08:43:47

**To:** Pade, Neil; David J. Markowitz; Deltenre, Renee **Cc:** Mark Greenberg; Kevin Solli; Richard Correia

**Subject:** RE: 9-15 Albany **Importance:** Normal

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

#### Good morning Neil,

Our apologies for the delayed response. I will be submitting a revised plan set and supplemental materials today which we would like distributed to the Commission. Please let me know what time that electronic file would need to be sent over to include it in the packet. We are still making some final plan revisions to coordinate with the latest architectural plans we received last night. Also, if hard copies will be required, please let me know how many, other than the one file copy Renee already requested.

Thank you,

Collene Byrne Project Manager

501 Main Street, Suite 2A Monroe, CT 06468 Cell: (716) 870-4554 Office: (203) 880-5455 Fax: (203) 880-9695

Collene@SolliLLC.com www.SolliEngineering.com

----Original Message-----

From: Pade, Neil <NPade@TownofCantonCT.org>

Sent: Friday, October 16, 2020 8:19 AM

To: David J. Markowitz <a href="markowitz@hgesq.com">dmarkowitz@hgesq.com</a>; Deltenre, Renee <a href="markowitz@hgesq.com">Rollenre@TownofCantonCT.org</a> Co: Mark Greenberg <a href="mark@markgreenbergrealestate.com">dmark@markgreenbergrealestate.com</a>; Kevin Solli <a href="markowitz@hgesqlille.com">Kevin@sollillc.com</a>; Collene

Byrne <Collene@sollillc.com>; Richard Correia <richcorreia@gmail.com>

Subject: RE: 9-15 Albany

Renee needs to know what is going in the meeting packet that goes out today.

Other than the original submittal and staff report and a few other minor things, we only have the set of plans that was submitted the day after the staff report was issued. We had all agreed at our last meeting not to distribute those to the Commission to not overwhelm/ burn out the Commission with too many plan sets and revisions.

Please advise.

- Neil

-----Original Message-----

From: Pade, Neil

Sent: Wednesday, October 14, 2020 5:42 PM To: 'David J. Markowitz'; Deltenre, Renee

Cc: Mark Greenberg; Kevin Solli; Collene Byrne; Richard Correia

Subject: 9-15 Albany

Hi all:

It is less than 10 days before the meeting. Are the revised plans going to be submitted soon?

Technically we should not be putting them in the meeting packet after that. Since we are under emergency rules we will put them in so the public not on the video feed can have access to your presentation materials, but need them as soon as possible.

Please advise,

Thanks,

- Neil



October 2, 2020

Mr. Neil Pade, AICP Director of Planning and Community Development Town of Canton 4 Market Street PO Box 168 Canton, CT 06022

**RE:** Site Plan & Special Permit Application

9-15 Albany Turnpike (Route 44 & Route 202)

Canton, Connecticut Project Number: 1904501

#### Dear Mr. Pade:

In response to the comments issued by Ms. Jessica Demar with the Connecticut Water Company on September 15, 2020, we have prepared a list of Best Management Practices (BMPs) proposed as part of this project to address any concerns the Connecticut Water Company may have:

- The fueling area for the proposed gas station/convenience store will be covered by a canopy that will collect the rainfall in the roof drains and direct the runoff to the storm water collection system that is located away from the fueling area.
- The fueling area will be paved with concrete to prevent the penetration of gasoline into the soils below.
- The fueling pad will be treated as a high point and the area surrounding the fueling island is graded to direct stormwater away from flowing onto the fueling area.
- The limits of the Aquifer Protection Area are shown on all design drawings.
- An impervious liner is proposed surrounding the sub-surface stormwater chambers in order to prevent direct
  infiltration and attenuate for salt and other soluble compounds that may enter the system from the parking
  lot
- Stormwater from the sub-surface system will discharge to a level spreader and then to an aboveground swale located at the bottom of the adjacent retaining wall.
- Hydrodynamic separators are being used to treat all runoff before it reaches the proposed above-ground basin and sub-surface detention system.
- Significant fuel, chemical or other hazardous materials storage and handling, including fueling of construction vehicles will be located outside the well field area and aquifer protection area (See Sediment and Erosion Control Note #30 on Sheet 2.41).
- No repair or maintenance of construction vehicles or washing of construction vehicles will take place within the aquifer protection area (See Sediment and Erosion Control Note #31 on Sheet 2.41).
- Any necessary temporary storage will be aboveground, protected from rainfall and on an impervious containment surface (See Sediment and Erosion Control Note #32 on Sheet 2.41).
- Site access will be adequately secured at all times to prohibit any unauthorized disposal of waste materials (See Sediment and Erosion Control Note #33 on Sheet 2.41).
- A Long-Term Inspection and Maintenance Plan has been provided as part of the Engineering Report.



#### **PROJECT NARRATIVE**

#### INTRODUCTION

Solli Engineering has prepared this narrative to describe the overall proposed uses and erosion control measures associated with construction and development of 9-15 Albany Turnpike in Canton and Simsbury, Connecticut. The proposal includes a convenience store with gas station component and an electric vehicle showroom also providing service to various electric vehicle manufactures. The design has been completed in compliance with all applicable Town of Canton codes and regulations as well as all other applicable state and federal requirements and regulations.

#### **EXISTING CONDITIONS**

The site is located at 9-15 Albany Turnpike in both Canton and Simsbury, Connecticut. The overall site area is approximately 26 acres spanning the Canton and Simsbury town boundary line. The majority of the property is undeveloped with a single residential dwelling located to the south-west near the corner. Brass Lantern Road and Albany Turnpike, with a driveway off of Brass Lantern Road. The site is bounded by residential properties to the north, industrial zone to the north-west, East Gateway Design Village District and residential zones to the west and Albany Turnpike (Route 44 & 202) to the south-west. In Simsbury, the property is bounded by residential zones to the north and north-east, business district alike adjacent to the east and Albany Turnpike (Route 44 & 202) to the south. There is significant grade change through the site with an elevated spine following the town boundary and sloping down on either side into Simsbury to the east and Canton to the west. Test pits were performed to identify underlying rock and soil conditions. Test pit locations are included in the property survey and site civil plan set. A copy of the soil report, prepared by REMA Ecological, is included as an appendix to the engineering report. Adjacent to the east down Albany turnpike is an existing development made up of an electronic store and various automotive dealerships.

The site consists of approximately 450 square feet of wetland area and approximately 4,494 square feet of upland review area in the south-eastern corner of the parcel, which is east of the town boundary in Simsbury. No earthwork or development are proposed within the upland review area. No wetlands will be altered as part of the proposed activity. See Appendix A for Figure 5: Regulated Area Map for a depiction of the wetlands and upland review area location. The wetlands were delineated by a certified soil scientist from REMA Ecological on July 15, 2020. Refer to the Wetland Assessment, which will be provided under a separate cover, prepared by REMA Ecological for more information regarding the existing on-site wetlands.

According to FEMA Flood Insurance Rate Map, Map Number 09003C0328F, the project site is not within a special flood hazard area subject to inundation by the 1% annual chance flood (100-year flood), also known as the base flood (See Appendix A, Figure 2, FEMA Flood Map).

#### PROPOSED CONDITIONS

The proposed development contains two general uses and areas: 1) A gas station/convenience store with 20-pump filling stations under canopy, ice cream shop, coffee shop, sandwich shop, outdoor patio seating area, drive-thru and associated parking, and 2) An electric vehicle (EV) showroom over two stories with EV service component and associated parking. The proposed site layout allows for vehicular circulation in and out of the service portion of the EV building with drives entering and exiting the northeast and north-west sides from regular site circulation drive aisles. Refer to the Site Layout Plan, Sheet 2.11, of the Civil Plan Set enclosed for additional details. The gasoline filling station canopy and convenience store structures are in the south western corner with the filling stations between Albany Turnpike and the gas/retail convenience store structure. Required parking is located around the perimeter of the development and to the east. The EV showroom structure is adjacent in the southern corner of the property with frontage on Albany Turnpike and parking behind to the north. Regarding operations, no business will be

501 Main Street, Suite 2A Monroe, CT 06468 Office: (203) 880-5455 351 Newbury Street, Suite 303 Boston, MA 02115 Office: (617) 203-3160 open to the public during the hours of 2:00 AM to 5:00 AM. The proposed uses are consistent with the business district per current zoning regulations.

The proposed layout and design are prepared in accordance with the Town of Canton Strategic Plan of Conservation and Development (POCD) for 2014-2024, revised February 28, 2020. The Albany Turnpike (Route 44 & 202) corridor currently contains retail business establishments consistent with the proposed uses of this development. The gas station not only provides fuel for patrons and residences, but also retail food and beverage options for customers. An enclosed outdoor seating area is proposed adjacent to the convenience building along with a true non-enclosed outdoor area for patrons to use and gather. These seating and gathering areas are consistent with open space and community values of the POCD. The EV showroom and service structure compliments the gas station and convenience uses by demonstrating electric alternatives to traditional gasoline vehicles. The EV showroom structure will allow for vehicles on display inside and outside to be visible up the natural slope in the right-of-way, to the development frontage. Architectural features and building finishes are proposed to be consistent with existing design and character of developments in this corridor. The service component of the operations in indoors and has been located to the rear of the structure, screened from regular movement along Albany Turnpike (Route 44 & 202).

Building location, according to the planning and zoning regulations, has positioned the structures near the front, or Albany Turnpike adjacent, of the site with most of the parking located in the rear. Maintaining natural resources was considered in the overall grading of this development. When possible, structure, driveway and internal aisle locations are designed based on the existing natural grade of the land. Gravity block and excavated rock face walls are required for access and to bring the area to an elevation with appropriate slopes for operations through the building and parking areas. Proposed landscape plan is provided to enhance the overall site aesthetics in accordance with regulations.

The proposed development has two routes for access and egress. The first is a 40-foot wide full-movement drive in the vicinity of the current Brass Lantern Road eastern entrance. A traffic signal on Albany Turnpike is proposed to service this driveway. The second means of access is a right-in/right-out only drive (approximately 375 feet east from the proposed signal on Albany Turnpike) which allows vehicles into and out of the development between the gas and EV showroom sites, to and from the westbound movement of Albany Turnpike (Route 44 & 202). The site was designed to accommodate both fueling tanker and WB-62 entering, exiting, and circulating the site.

The layout for the proposed gas and convenience contains 71 total parking spaces, including 20 situated at the filling station pumps themselves. Town of Canton regulations do not specify a parking requirement for this type of use, therefore this application applies a required parking rate, referenced from Institution of Traffic Engineers Parking Generation Manual (5<sup>th</sup> Edition), of 8 spaces per 1,000 square feet of building area. The proposed EV showroom structure layout provides an additional 45 parking spaces to meet the required parking rate of 2 spaces per service bay and 1 space per 2 employees. 5 service bays are proposed, and number of employees are assumed to be 24, requiring 28 spaces. Parking spaces adjacent to the building entrance sidewalk may be dedicated to charging stations under canopy cantilevered from the building. A dumpster pad refuse area on concrete pad for the gas station is proposed to the north of the building, accessed via the drive-thru bypass lane. The EV showroom structure has a proposed dumpster and refuse area located in the eastern corner of the parking behind the EV showroom building. Internal site drive layout provides sufficient movement for front loading refuse vehicles.

Refer to the Stormwater Management section of the engineering report for detail regarding the proposed drainage system.

## SOIL EROSION AND SEDIMENT CONTROL

The proposed plans for soil erosion and sediment control prepared for this project have been developed in accordance with the Town of Canton Zoning Regulations, Section 7.6, as well as the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, prepared by the Connecticut Council on Soil and Water Conservation in cooperation with the Connecticut Department of Environmental Protection.

The soil erosion and sediment control measures that will be proposed as part of this project include: geotextile silt fences, silt fence with hay bale backing, temporary sediment traps, temporary diversion swales, construction entrance, dust control measures, riprap stabilization, and inlet protection for existing and proposed drainage features. The temporary sediment traps will be excavated to detain sediment-laden runoff from contributing drainage areas located within the project's limits of disturbance.



The sediment traps are proposed in the low-lying areas of each contributing drainage area and have been sized to provide a minimum storage volume of 134 cubic yards per acre of drainage area, per 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.

The anticipated starting date for construction is Spring 2022 with completion anticipated by Fall 2023 (approximately 18 months). Appropriate erosion control measures as described herein, shall be installed by the contractor prior to the commencement of all site clearing or construction activity. Schedule work to minimize the length of time that bare soil will be exposed.

All sedimentation and erosion control measures, including the construction of temporary sedimentation traps and stone construction entrance anti-tracking pads, will be installed prior to the start of clearing and grubbing operations. Following installation of all sedimentation and erosion control measures, the contractor shall not proceed with grading, filling or other construction operations until the engineer has inspected and approved all installations. The contractor shall take extreme care during clearing and grubbing operations so as not to disturb unprotected wetland areas or sedimentation and erosion control devices. Following the completion of clearing and grubbing operations, all areas shall be stabilized with topsoil and seeding or processed aggregate stone as soon as practical. All removed invasive plant species material shall be fully removed from the site and taken to an approved and/or acceptable disposal location.

During the removal and/or placement of earth as indicated on the grading plan, topsoil shall be stripped and appropriately stockpiled for reuse. All stockpiled topsoil shall be seeded, mulched with hay, and enclosed by a siltation fence.

Prior to filling, all sedimentation and erosion control devices shall be properly implemented, maintained and fully installed, as directed by the engineer and as shown on this plan. All fill material adjacent to any wetland areas, if applicable to this project, shall be good quality, with less than 5% fines passing through a #200 sieve (bank run), shall be placed in lift thickness not greater than that specified in project specifications. Lifts shall be compacted to 95% max. dry density modified proctor. As general grading operations progress, any temporary diversion ditches shall be raised or lowered, as necessary, to divert surface runoff to the sediment traps.

Silt fences shall be installed at the downhill sides of temporary sediment trap slopes, mud pump discharges, and utility trench material stockpiles. Hay bales may be used if shown on the erosion control plans or if directed by the project engineer.

All inlet and outlet protection shall be placed and maintained as shown on erosion control plans and details, and as described in specifications and as described herein. No cut or fill slopes shall exceed 2:1 except where stabilized by rock faced embankments or erosion control blankets, jute mesh and vegetation. All slopes shall be seeded, and any road or driveway shoulder and banks shall be stabilized immediately upon completion of final grading until turf is established. Pavement sub-base and base courses shall be installed over areas to be paved as soon as final sub-grades are established and underground utilities and storm drainage systems have been installed. After construction of pavement, topsoil, final seed, mulch and landscaping, remove all temporary erosion control devices only after all areas have been paved and/or grass has been well established and the site has been inspected and approved by the Town(s) of Canton and Simsbury and Town(s) of Canton and Simsbury Inland Wetlands Commission.

For siltation fence, dig a six inch trench on the uphill side of the designated fence line location. Position the post at the back of the trench (downhill side), and hammer the post at least 1.5 feet into the ground. Lay the bottom six inches of the fabric into the trench to prevent undermining by storm water run-off. Backfill the trench and compact. all siltation fences shall be inspected as a minimum weekly or after each rainfall. All deteriorated fabric and damaged posts shall be replaced and properly repositioned in accordance with this plan. Sediment deposits shall be removed from behind the fence when they exceed a height of one foot.

For hay bales, bales shall be placed in a single row, lengthwise, oriented parallel to the contour, with ends of adjacent bales tightly abutting one another. Bales shall be entrenched and backfilled, a trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of four inches. After the bales are staked, the excavated soil shall be backfilled against the barrier. Each bale shall be securely anchored by at least two (2) stakes. The gaps between bales shall be wedged with straw to prevent water leakage. The barrier shall be extended to such a length that the bottoms of the end bales are higher in elevation than the top of the lowest middle bale, to ensure that run-off will flow either through or over the barrier, but not around it. All hay bale rings shall be inspected following each rainfall. Repair or replacement shall be promptly made as needed. Deposits shall be removed and cleaned-out if one half of the original height of the bales becomes filled with sediment.



For sediment traps, contractor to keep weekly checklist logs for inspections of all sediment and erosion control devices and have them readily available on-site at all times for inspection by CT DEEP, local authorities or engineer. All sediment traps shall be inspected following each rainfall. repair of slopes shall be promptly made as needed. erosion control blankets may be used following repair of slope as directed by the engineer. Sediment deposits shall be removed from sediment traps and/or sediment traps when they exceed a height of one foot unless otherwise indicated on the erosion control plans and details to be at a specific elevation per clean out markers. Sediment shall be disposed of on-site or as directed by the engineer and local governing officials. See sediment and erosion control notes herein regarding disposal requirements for off site spoil disposal.

For inlet protection, remove catch basin grate and properly place the silt sack into the frame of the catch basin. Place grate back onto frame and ensure no portions of the silt sack have sagged into the catch basin. Once grate is placed back onto frame observe to see if silt sack is installed in a manner that will allow for sediment to be filtered out during storm events. All silt sack inlet protection devices shall be inspected as a minimum weekly or after each rainfall. All deteriorate silt sacks and sacks that appear to have an excess of sediment shall be replaced and properly repositioned in accordance with this plan. Sediment deposits shall be removed from the silt sacks when they exceed a couple inches of sediment within the catch basin.

All stone check dams shall be inspected following each rainfall. Repair of stone check dams shall be promptly made and accumulated sediment removed when it reaches one half of the height of the check dam. Swales shall be inspected following each rainfall. Repair of any washed out or eroded slopes shall be made promptly, and the area shall be reseeded as necessary. Erosion control blankets may be used to repair eroded swales as directed by the engineer or Town(s) of Canton and Simsbury agent.

For more detail regarding layout and design of the soil erosion and sediment control measures implemented as part of this project see Soil Erosion & Sediment Control Plan (Sheet 2.31) and Sediment Control Notes & Details (Sheet 2.41)

X:\SE Files\Project Data\2019\1904501 - Albany Turnpike, Simsbury\Office Data\Reports\2020-10-02 Project Narrative (Canton).docx



October 14, 2020

Jonathan Thiesse, Chairman Canton Planning & Zoning Commission P.O. Box 168 Collinsville, CT 06022

#### Dear Jonathan:

At its 6 October 2020 meeting, the Canton Conservation Commission discussed File 475; 9 and 15 Albany Tpke; Assessors Map 32 and 36; Parcels 1010009 and 1010015; proposed retail/service and personal services businesses. Kevin Solli, of Solli & Associates, provided our Commission with background information, plans and associated drawings for what the applicants envision for the first phase of development on this 28 acre property that straddles the Simsbury-Canton Town Line along the north side of US Route 44 at Canton's eastern gateway.

Commissioners were impressed with this unique proposal, and the thought that went into it. It was, in short, stunning. However, beauty is in the eye of the beholder. Whereas some people might think such development will look terrific as an entry point into the Town of Canton, others may regret the loss of the natural feel that many residents believe to be an asset and helps to separate Canton from our more developed neighbors to the east along Route 44.

The Canton Conservation Commission will not make any recommendations on what the Town of Canton should and could look like in the future. Our primary concern is the necessary demolition of a portion of the trap rock ridge in order to accommodate this project. Trap rock ridges are unique, critical habitats within the State of Connecticut. This, and the adjoining Onion Mountain ridge, are the easternmost of Connecticut's/ New England's trap rock ridge formations, and the only ones situated within the Town of Canton. The Commission is unanimous in believing that it would be a real loss to Canton's natural resources to see any part of this ridge destroyed. Another concern that was not fully addressed at the Commission meeting was exactly how much blasting will be required to develop this property and how that will affect the surroundings during construction.

In summary, the Canton Conservation Commission voted unanimously, not to oppose the project in principle, but to express serious concern over the proposed demolition of the trap rock ridge. While Commission members understand that economic development is right in this area of Canton, we question whether this is an appropriate scale of development in this particular location.

Sincerely,

Jay Kaplan, Chair Canton Conservation Commission

C: Emily Kyle, Assistant Town Planner Town of Canton Zoning Development Application of 9-15 Albany Turnpike, LLC for 9-15 Albany Turnpike, Canton. File #475; Application #2000

Applicants narrative to support the Planning & Zoning Commissions finding that the Special Permit Criteria found in Section 9.2.E of the zoning regulations have been met.

In considering an application for a Special Permit, the Planning & Zoning Commission is required to evaluate the application with respect to the criteria set forth in Section 9.2.E. of the zoning Regulations. Applicant is applying for Site Plan Approval in a B-Zone for its property fronting on Route 44 (the Albany Turnpike) in Canton. Its proposal includes a gas station with a building containing approximately 8,400 square feet which will house a convenience store, a delicatessen (sandwich shop), an ice cream shop and a coffee shop with a drive thru. It will have both inside dining and out door dining. The gas station will be constructed so that it will convert easily to electric vehicle (EV) high speed charging. The amenities will allow its patrons to relax and eat or snack while their vehicle is charging, which will take 10 to 12 minutes. The gas station and its building are entirely within Canton. The site will also contain an Electric Vehicle Showroom (EV Showroom) for the display of electric vehicles manufactured by companies without there own dealership network. It will allow them to display their vehicles to prospective purchasers, have purchasers order vehicles to be constructed and then delivered when completed. The show room will have two stories and the building will contain approximately 23,000 square feet. It is anticipated that EVs of four different manufacturers will be displayed. The showroom building is almost entirely in Canton, but will have a single story maintenance area that will be entirely in Simsbury. The maintenance area will provide owners of EVs the ability to have their cars serviced locally. The applicant received unanimous approval for its site plan from the Simsbury Zoning Commission on October 5, 2020 after receiving a unanimous recommendation for approval by the Simsbury Design Review Board.

The applicant is requesting the following Special Permits: Section 4.1.C.10.(e) Gasoline filling station use in business zone, Section 4.1.C.3.(a) Drive-thru use in business zone, Section 4.1.C.10.(a) Automotive New Car Dealer in business zone, Section 4.1.C.1.(a) Retail use greater than 2500 square feet in business zone, Section 4.1.C.2.(b) Outdoor dining use in business zone, Section 7.7.C.(3) retaining wall/fence height & proximity to lot line, Section 7.3.F.8.(a) signs number of tenant count, size and illumination, Section 7.5.D.3. Earthwork and grading greater than 2,000 cubic yards, Section 7.10.B.2. Outdoor display and storage and site plan approval under Section 4.1.D.3a. for Class I restaurant and b. for Class II restaurant.

It is important to note that the EV Showroom will have sheltered high speed charging stations for EVs and that the gas station will also have high speed charging stations and can easily convert to more. While charging their vehicles at the gas station

its patrons will be able to take advantage of the shopping and dining opportunities in the building.

The Special permit Criteria are as follows:

1. Plan of Conservation and Development (POCD). Is the proposed use or activity in accordance with or facilitate achievement of one or more of the goals, objectives, policies, and recommendations of the POCD, as amended. The property contains a non-conforming vacant single family home that will be removed. Zoning was adopted in Canton in 1957 and this land has always been identified for business development. It is on the Albany Turnpike on a B-Zoned lot. It is in a well established area of business activities with retail stores over 2,500 square feet, gasoline stations, multiple restaurants with drive-throughs and a variety of service businesses. These two parcels have frontage on the Albany Turnpike, which is Canton's main transportation route. Because of the traffic count on the Albany Turnpike this area has been identified by the POCD to support economic interests. The applicant is proposing a traffic signal and a right turn/right exit for the EV Showroom. The applicant's proposal with a traffic signal will promote the development of significant acreage to the north and west which have also been identified as an Opportunity Location for future development in the POCD. Without the traffic signal that future development would not be possible.

The POCD focuses on two main themes. One is to Build and sustain the economic vitality of Canton and to promote its commercial tax base and the other is to maintain the community character. Although some might think these goals might appear contrary, it is important to remember that this property is at the very entrance of Canton adjacent to Simsbury and on Route 44. A parcel immediately to the south and east was previously approved for a Lowes Home Center, that unfortunately was never built. The POCD in its Strategic direction section at page 35 recognizes the need for commercial development to increase the assessed value of commercial parcels and relieve the tax burden on existing homes and businesses. This property, because of its frontage on Route 44 is uniquely suitable to accomplish that goal. The Town Planner in Appendix B of his memo to the Planning and Zoning Commission does an excellent job of describing how this proposed development will support the goals of the POCD. He points out that on the Future Land Use Plan at page 101 of the POCD this area is further identified for business use. Because of the location of the property the Commission should find that this proposal and the requested Special Permits are supported by the POCD.

- 2. Is the proposed use or activity consistent with the purpose of the regulations. The regulations with just a zoning permit allow retail service businesses, restaurants, hotels and motels and other uses. This proposal is absolutely consistent with the location and the B-Zone.
- 3. Environmental Protection and Conservation. Appropriate considerations shall be given to the protection, preservation and or enrichment of natural, scenic, historic

and unique environmental resources and features which enhance the character of the community. There are no historic features, but the property does have a geologic feature, a heavily wooded trap rock ridge. The applicant's proposal incorporates the ridgeline and high lights it in its development. The presence of the ridge is a scenic quality that the applicant brings it into the development. Canton had the ability to adopt ridgeline protection. It was discussed in 2008 and not adopted. The Hill Top Overlay District proposal was ultimately rejected as well. Frankly the topography and the trap rock ridge have prevented the earlier development of the property. To not allow this development because of its presence would be contrary to the POCD's clear finding that future economic development is needed to enhance the community.

- 4. Suitable Location for Use. The size of the lot is appropriate for this proposal and the nature and intensity of the use that is proposed. This proposal is the first step in the development of this district. The activities, the EV Showroom and the high speed EV charging stations stress conservation and the applicant believes it is the future of vehicular transportation. The property was always meant to be developed. Because of the topography the earthwork and grading special permit and Restraining Wall and Fence special permit are absolutely required. Without them this property could not be developed without taking the entire ridge to grade which is certainly not appropriate. The installation of the traffic signal will not only allow for future development, it will make the Albany Turnpike safer. There are no residential neighborhoods adversely impacted and future economic development of the area will be promoted.
- 5. Appropriate Improvements. This proposal not only eliminates a non-conforming residential use it is the first step to the economic development of a key business parcel in Canton. The improvements are attractive and rather than impairing the value of parcels in the area, it will improve values. When we met with the Canton Conservation Commission and the Simsbury Design Review Board, it was agreed that the buildings were attractive and would not have an adverse impact, material or otherwise upon the neighborhood. The idea of incorporating the ridge into the development was well received.
- 6. Suitable Transportation Conditions. The entrances to be incorporated into the site plan go along way to make the Albany Turnpike safer and the applicant is providing connectivity with the former LaTrattoria site. Traffic congestion will not be unreasonably increased and the safety of the Albany Turnpike will be improved with the installation of the traffic signal. It will go along way to mitigate traffic issues, while promoting future development. Parking areas are adequate for the uses. The EV Showroom, is not a dealership and will not have a great deal of outdoor storage. The outdoor storage is limited to a few cars adjacent to the building. This proposal meets all of the parking requirements, there are no adjacent residential uses and the Albany Turnpike is more than adequate to handle the development with sufficient width, grade and alignment. The proposed site plan accomplishes all of the requirements of item 6 and is appropriate for the location.

- 7. Adequate Public Utilities and Services. This site plan and proposal has sufficient public water and sewage disposal and provides storm water drainage that conforms to accepted engineering standards and complies with all standards of regulatory authorities and does not burden capacity. The Site plan is laid out to accommodate and provides ready accessibility for fire protection, police protection and emergency services.
- 8. Nuisance Avoidance. The uses and Site plan are absolutely appropriate for the area, do not create a nuisance and will not hinder public health, safety, convenience and property values. We urge you to make this finding.
- 9. Long term viability. The site plan and Buildings are such that the sustained maintenance of the site is assured. The EV Showroom and the nature of the gasoline station are such that they will promote the future of automobile transportation. Our team is very excited about this project and its very positive impact on the Town of Canton. We hope you feel as we do and urge you to find that the Special Permit Criteria have been met..

**Archived:** Friday, October 16, 2020 10:32:14 AM

From: David J. Markowitz

Sent: Wed, 14 Oct 2020 12:21:16 To: Pade, Neil; Deltenre, Renee

Cc: Mark Greenberg; Kevin Solli; Collene Byrne; Richard Correia

**Subject:** Narrative for Special Permits per Section 9.2.E

**Importance:** Normal

**Attachments:** 20201014113348300.pdf

CAUTION: This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Dear Neil,

Attached is my narrative. Should you have any questions or concerns please contact me.

David J. Markowitz, Esq. Partner Hassett & George, P.C. 945 Hopmeadow Street Simsbury, CT 06070

Phone: (860) 651-1333 ext. 150

Fax: (860) 651-1888

E-Mail: dmarkowitz@hgesq.com

Website: www.hgesq.com

The information being transmitted by this electronic mail is being sent by or on behalf of an attorney; it is intended for the exclusive use of the addressee named above and may constitute privileged or confidential matter, legally exempt from disclosure. If you are not the named addressee, or a- employee or agent responsible for delivering this message to the named addressee, you are not authorized to retain, read, copy or disseminate this message or any part of it. If you have received this electronic mail in error, please notify us immediately by telephone and destroy all copies of this electronic mail and any attachments.

----Original Message-----

From: zzscans@hgesq.com <zzscans@hgesq.com> Sent: Wednesday, October 14, 2020 11:34 AM To: David J. Markowitz <dmarkowitz@hgesq.com> Subject: Message from "RNP002673DE8BDF"

This E-mail was sent from "RNP002673DE8BDF" (MP C4504).

Scan Date: 10.14.2020 11:33:48 (-0400)

Queries to: zzscans@hgesq.com

POSTAL SERVICE®

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- Banggelittit MOININGECY 16468 Special Handing \$6.02 R2305K135132-09 U.S. POSTAGE PAID MONROE, CT 06468 OCT 06, 20 AMOUNT 100 Postmark with Date of Receipt. UNITED STATES 0000 Affix Stamp Here Postage of Pieces Received at Post Office™ Address (Name, Street, City, State, and ZIP Code 144) Russell and Kenneth W Palmer 609 West Main Street, LLC. West Simsbury, CT 06092 Postmaster, per (name of receiving employee) 371 West Mountain Road West Simsbury, CT 06092 385 West Mountain Road Estate of Joanne Burk 68 Ellsworth Lane Canton, CT 06019 33 Old Canton Road Francis A Zacchera Canton, CT 06019 of Pieces Listed by Sender 501 Main Street, Monroe, CT 06468-1116 USPS® Tracking Number Firm-specific Identifier Name and Address of Sender 100 m

See Reverse for Instructions

Hoffman Enterprises Limited

West Simsbury, CT 06092

PS Form 3665, January 2016 (Page \_\_of \_S) PSN 7530-17-000-5549

36 Albany Turnpike

Partnership

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West Simsbury, CT 06092

389 West Mountain Road

Paul E Flynn, Trustee

POSTAL SERVICE® WITED STATES Name and Address of Sender

Certificate of Mailing — Firm (Domestic)

Parcel Airliff OCT - 6 2020 MONROECY 96468 Special Handling Fee Postmark with Date of Receipt. Affix Stamp Here Postage TOTAL NO. of Pieces Received at Post Office™ Address (Name, Street, City, State, and ZIP Code<sup>TM</sup>) RRHT Trust Holdings Simsbury, Patrick M Slater and Gretchen 750 Connecticut Boulevard Postmaster, per (name of receiving employee) 375 West Mountain Road West Simsbury, CT 06092 West Simsbury, CT 06092 West Simsbury, CT 06092 West Simsbury, CT 06092 375 West Mountain Road 393 West Mountain Road Josephine M Meyer 381 West Mountain Road West Simsbury, CT 06092 East Hartford, CT 06108 377 West Mountain Road Paul and Priscilla Flynn Paul and Priscilla Flynn Diefenbach-Slater Jean Tai Ladetto TOTAL NO. of Pieces Listed by Sender 501 Main Street, Monroe, CT 06468-1116 USPS® Tracking Number Firm-specific identifier The state of the s (7) Andread. 10 0

PS Form 3665, January 2016 (Page 2015) PSN 7530-17-000-5549

See Reverse for Instructions

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Parcel Airlift WONROE CY 06468 2 - 130 Special Handling Fee Postmark with Date of Receipt. Postage TOTAL NO. of Pieces Received at Post Office™ Address (Name, Street, City, State, and ZIP Code<sup>TM</sup>) Russell and Kenneth W Palmer West Simsbury, CT 06092 Postmaster, per (name of receiving employee) 371 West Mountain Road West Simsbury, CT 06092 Ulysses and Polly Millan 365 West Mountain Road SOLLI ENGINFERING 501 Main Street, Monroe, CT 06468-1116 USPS® Tracking Number Firm-specific Identifier Find Street 10 Series. 

PS Form 3665, January 2016 (Page 3nt 3) PSN 7530-17-000-5549





**Archived:** Friday, October 16, 2020 10:32:54 AM

From: Collene Byrne

Sent: Wed, 7 Oct 2020 09:15:47 To: Pade, Neil; Deltenre, Renee

Cc: Mark Greenberg; Kevin Solli; David J. Markowitz Subject: RE: 9-15 Albany Turnpike - Application

**Importance:** Normal

**Attachments:** 

Canton Abutters Notices Proof of Mailing (2020-10-06).pdf

**CAUTION:** This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

#### Good morning Neil,

Attached is the proof of mailing for the re-noticing of abutters and proof of posting of the sign on the subject property.

Collene Byrne Project Manager



501 Main Street, Suite 2A Monroe, CT 06468 Cell: (716) 870-4554 Office: (203) 880-5455

Fax: (203) 880-9695

<u>Collene@SolliLLC.com</u> <u>www.SolliEngineering.com</u>

From: Pade, Neil < NPade@TownofCantonCT.org>

Sent: Tuesday, October 06, 2020 4:31 PM

**To:** Collene Byrne <Collene@sollillc.com>; Deltenre, Renee <RDeltenre@TownofCantonCT.org>; David J. Markowitz <dmarkowitz@hgesq.com>; Mark Greenberg <mark@markgreenbergrealestate.com>; Kevin

Solli <Kevin@sollillc.com>

Subject: RE: 9-15 Albany Turnpike - Application

#### Thanks!

- Neil

From: Collene Byrne [mailto:Collene@sollillc.com]

**Sent:** Tuesday, October 06, 2020 4:12 PM

To: Deltenre, Renee; David J. Markowitz; Mark Greenberg; Kevin Solli

Cc: Pade, Neil

**Subject:** RE: 9-15 Albany Turnpike - Application

**CAUTION:** This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

Revised legal notice description is below. Please let me know if there are any questions or comments.

File 475; Apln 2000; 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.3.a., drive-thru uses; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; Section 7.10.B.2, outdoor storage and display; and Site Plan Application: Section 4.1.B.3., restaurant classes I & II; Section 9.1.A., request to construct a 8,384 sq. ft. gas station/convenience store with restaurants and drive-thru, and 23,500 sq. ft. electronic vehicle showroom with 117 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner.

Thank you,

Collene Byrne Project Manager



501 Main Street, Suite 2A Monroe, CT 06468 Cell: (716) 870-4554 Office: (203) 880-5455 Fax: (203) 880-9695

<u>Collene@SolliLLC.com</u> www.SolliEngineering.com

From: Deltenre, Renee < RDeltenre@TownofCantonCT.org >

**Sent:** Tuesday, October 06, 2020 3:31 PM

**To:** Collene Byrne < <a href="mailto:com">Collene@sollillc.com</a>>; David J. Markowitz < <a href="mailto:dmarkowitz@hgesq.com">dmarkowitz@hgesq.com</a>>; Mark

Greenberg < mark@markgreenbergrealestate.com >; Kevin Solli < Kevin@sollillc.com >

**Cc:** Pade, Neil < NPade@TownofCantonCT.org > **Subject:** RE: 9-15 Albany Turnpike - Application

Good Afternoon Everyone,

Just want to confirm that a revised legal notice description will be provided prior to close of business. I need to post the notice to the Town Website no later than 4:30 p.m. today.

Thank you, Renée

From: Pade, Neil

**Sent:** Tuesday, October 6, 2020 1:26 PM **To:** Collene Byrne; Deltenre, Renee

**Cc:** David J. Markowitz; Mark Greenberg; Kevin Solli **Subject:** RE: 9-15 Albany Turnpike - Application

Thanks!

Did you update the notice description to match the revised application?

Best,

∴Φ0B7 Neil

From: Collene Byrne [mailto:Collene@sollillc.com]
Sent: Tuesday, October 06, 2020 12:40 PM

To: Pade, Neil; Deltenre, Renee

**Cc:** David J. Markowitz; Mark Greenberg; Kevin Solli **Subject:** 9-15 Albany Turnpike - Application

**CAUTION:** This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

#### Good afternoon Neil,

Following up on our phone call from yesterday, I have attached the revised application which includes updated fees for the most current site layout (calculated based on the impacted area within Canton), the additional requests for restaurant Class I & II, as well as, outdoor storage/display. I confirmed that no alcohol sales are anticipated, so that request for special permit is not on the application. A check for the additional fees, in excess of those already paid, will go out in today's mail. We'll also re-notice abutter's and CTWater no later than tomorrow.

Please let me know If you have any questions or concerns.

Thank you,

Collene Byrne Project Manager



501 Main Street, Suite 2A

**Archived:** Friday, October 16, 2020 10:40:04 AM

From: Collene Byrne

**Sent:** Tue, 6 Oct 2020 12:40:41 **To:** Pade, Neil; Deltenre, Renee

Cc: David J. Markowitz; Mark Greenberg; Kevin Solli

Subject: 9-15 Albany Turnpike - Application

**Importance:** Normal

**Attachments:** 

9-15 Albany Turnpike - Zoning Development Application (2020-10-05).pdf

**CAUTION:** This email came from outside the organization. Do not click links or open attachments if you are unsure the message is safe.

#### Good afternoon Neil,

Following up on our phone call from yesterday, I have attached the revised application which includes updated fees for the most current site layout (calculated based on the impacted area within Canton), the additional requests for restaurant Class I & II, as well as, outdoor storage/display. I confirmed that no alcohol sales are anticipated, so that request for special permit is not on the application. A check for the additional fees, in excess of those already paid, will go out in today's mail. We'll also re-notice abutter's and CTWater no later than tomorrow.

Please let me know If you have any questions or concerns.

Thank you,

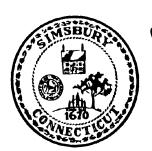
Collene Byrne Project Manager



501 Main Street, Suite 2A Monroe, CT 06468 Cell: (716) 870-4554 Office: (203) 880-5455

Fax: (203) 880-9695

<u>Collene@SolliLLC.com</u> www.SolliEngineering.com



# Town of Simsbury

933 HOPMEADOW STREET

SIMSBURY, CONNECTICUT 06070

Office of Community Planning and Development

October 6, 2020

Kevin Solli 501 Main Street Suite 2A Monroe CT 06468

**REFERENCE:** Application # ZC 20-10 of 9-15 Albany Turnpike, LLC, Owner; Kevin Solli, Agent for a Site Plan Approval for the development of 9-15 Albany Turnpike including a gas stations/convenience store and electric vehicle showroom, service component with associated parking (Zone B-3)

Dear Mr. Solli:

The Town of Simsbury's Zoning Commission, at a regular meeting held on Monday, October 5, 2020, approved, with conditions, your application for a Site Plan Approval for Application # ZC 20-10of 9-15 Albany Turnpike, LLC, Owner; Kevin Solli, Agent for a Site Plan Approval for the development of 9-15 Albany Turnpike including a gas stations/convenience store and electric vehicle showroom, service component with associated parking.

The site plan approval is subject to the following conditions:

- 1. An administrative zoning permit is required for construction activities.
- 2. Approval is for the construction of buildings and site development. Signage is not part of this approval and will require a separate approval for any signs that will located in Simsbury.
- 3. Pre-Construction Meeting is required with Town staff prior to start of site work.
- 4. Limits of work/clearing are to be marked by a surveyor and approved by Code Compliance officer prior to start of site work.
- 5. As part of the site prep process, the removal of rock is approved with the following hours of operation:
  - a. Monday thru Friday: 7:00 am to 5:00pm
  - b. Saturday: 9:00 am to 5:00pm
  - c. No work on Sundays and holidays

6. The Zoning Commission authorizes staff to approve minor modifications to site grading, landscaping, drainage, or lighting on their behalf. Said requests are to be made in writing to staff prior to implementation.

If you have any questions, you can reach me at 860-658-3252 or mglidden@simsbury-ct.gov.

Very Truly Yours,

Michael Glidden CFM CZEO

Director of Planning & Community Development

cc: David Markowitz Esq.

Richard Correia

Mark Greenberg

Planning Department File Building Department File

Town Clerk

Assessor's Office

Subject File



# PLANNING & ZONING COMMISSION Canton, Connecticut Inc. 1806

4 Market Street, Collinsville, Connecticut 06022

TO: Planning and Zoning Commission

FROM: Neil S. Pade, AICP, Director, Planning & Community Development

CC: Attorney David Markowitz, Applicant Representative

File #475; Apln #2000

SUBJECT: Staff Review - Site Plan and Special Permit Uses at 9-15 Albany Turnpike

DATE: September 29, 2020

## **Proposal**

On August 12, 2020 an application was submitted proposing the construction of: a 20,865 square foot (sf) building proposed for a new car dealer/ retail use; a 8,384 gas station/convenience store with drive-thru; 117 associated parking spaces; a new traffic control signal; and, a comprehensive site development plan. The application form was modified on September 1<sup>st</sup>, 2020 to add a special permit use request for earthwork and grading. A revised plan set was submitted on September 9, 2020, which is the basis of this review. The revised plan set was received by the Commission in the September 16<sup>th</sup>, 2020 meeting packet.

## **Background**

A detailed project narrative summarizing existing and proposed conditions is provided by the applicant (Exhibit #19).

This property, and others in the vicinity, have been in a zoning district specific for business development as early as 1958, consistently through time, up and until the submission of this application.



Figure 1 - Excerpts January 20, 1958 Official Zoning Map of the Town of Canton

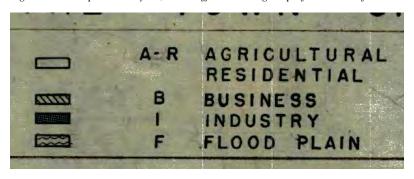


Figure 2 - 1958 Map Legend

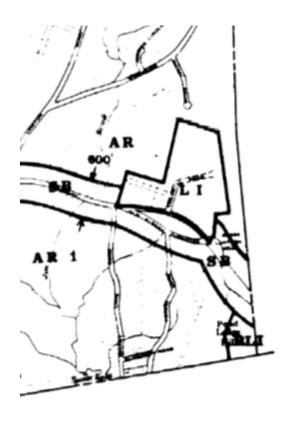


Figure 3 - 1983 Zoning Map



- AR-3 RESIDENTIAL 2 ACRES
- AR-2 RESIDENTIAL LACRE
- AR-I RESIDENTIAL 1/2 ACRE
- B-I BUSINESS
- SB SPECIAL BUSINESS
- LI LIGHT INDUSTRY
- HI HEAVY INDUSTRY
- RESTRICTED LIGHT INDUSTRY
- F FLOOD PLAIN

Figure 4 - 1983 Map Legend

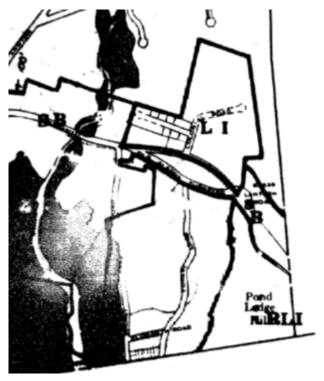


Figure 5 - 2003 Zoning Map

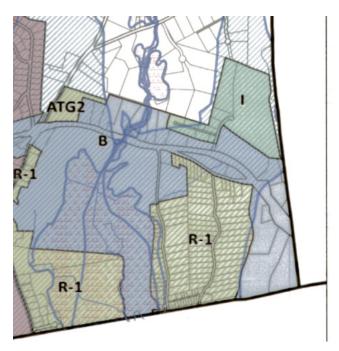


Figure 6 - 2014 Zoning Map

In August of 2020 the area was put into a mixed use design village district allowing high density mixed use development. This occurred after the submission of the pending application. The regulations in place on the day the application was submitted govern.

The properties under review are privately owned and been held by one family for the majority of this time. The family has been presented numerous opportunities for the property to be developed over the years, however did not exercise these property rights until recently.

# **Procedural Requirements**

The following approvals are requested on the application form:

Cite the Section(s) and written description of the Zoning Regulations under which you are applying (only those items specifically identified on this application will be included in the public notice and application proceedings):

Section #	4.1.C.10.(b.)	Regulatory Language: Gas Station Use in Business Zone
Section #	4.1.C.(a.)	Regulatory Language: Drive-Thru Uses in Business Zone
Section #	4.1.C.10.(a.)	Regulatory Language: Automobile Service Use in Business Zone
Section #	4.1.C.1.(a.)	Regulatory Language: Retail Use > 2,500 SF in Business Zone
Section #	4.1.C.2.(b.)	Regulatory Language: Outdoor Dining Area Use in Business Zone
Section #	7.7.C.3.	Regulatory Language: Retaining Wall/Fence Height & Proximity to Lot Line
Section #	7.3.F.8.A.	Regulatory Language : Signs: Number of, Tenant Count, Size and Illumination
Section #	7.5.D.3	Regulatory Language: Earthwork and grading over 2,000 cubic yards

Figure 7 - Application Form Requests

The application form needs to be corrected as follows:

- First line Gas Station Uses Section number is 4.1.C.10.e, not c
- Second line Drive-thru Use Section number is 4.1.C.3.a, not 4.1.C.(a).
- The form is missing 4.1.C.10 c, or d Automobile, Repair Uses.
- The form uses the section reference for Automobile, New Dealer Use, 4.1.C.10.a but uses the term Automobile Service Use.

The special permit for Repair Use can no longer be added as it is no longer applicable in the current regulations that went into effect after the submission of this application.

These concerns were relayed to the applicant on September 11, 2020. At the time this memorandum was written a corrected application form has not yet been submitted.

The following were also identified during this review. The application form should also be updated to reference the applicant's intention to seek site plan approval under Section 9.1.A. A detailed site plan is checked off on the second page of the application form, but not cited in the required listing of sought after approvals at the bottom of the page.

The application form also does not specify the Restaurant Use and Type proposed to occur on the site. Based on the number of seats and approximate area, what is proposed could be classified as a Type III Restaurant which may require an additional special permit. The proposal could also be classified as multiple Class I or II restaurants. The applicant should consider this clarification in the corrected application form and notice. The Commission should render an interpretation if needed.

It is also understood that a Certified Erosion and Sediment Control Plan is required for disturbances over ½ acres under Section 7.6. The application form needs to be updated to check off the box on the second page of the form with updated section language added at the bottom.

An Earthwork and Grading Special Permit is referenced at the bottom of the second page, but needs to check off the box on the second page of the form.

Section 7.13.B requires a professional Stormwater Management Plan for disturbances over 10,000 sf and Section 7.8.B requires a professional Traffic Analysis. Information has been submitted to evaluate under both referenced sections.

The use of Automobile, New Dealer use is typically associated with a Special Permit for Outdoor Storage and Display under Section 7.10. None are shown on the plans and the application form does not indicate one is being sought.

# **Public Hearing Notices and Statutory Time**

The application was submitted originally on August 12<sup>th</sup>, and received by the Commission on August 19<sup>th</sup>. A revised application form was submitted September 1<sup>st</sup>. Revised plans were submitted September 9<sup>th</sup>.

The previously published legal notice did not include identification of the Drive-thru or Repair special permits. (It also does not include a restaurant use, but does include outdoor seating associated with a restaurant use.) Therefore the notice must be republished, and the hearing was postponed. A revised legal notice is pending the submission of an updated application form.

A public hearing is required for Special Permit applications within 65 days of receipt (October 23<sup>rd</sup>). The public hearing was scheduled for September 16<sup>th</sup>. The Commission however postponed the hearing until October 21<sup>st</sup> to allow for the updated information to be accessible and reviewed, and to allow for the necessary corrections to occur.

- Legal notices for the pending public hearing must be updated and posted on the Town Website 15 days prior to the public hearing.
- A posting of the required sign has occurred, however the required certification has not yet been submitted per Section 9.9.F.
- Certification of the required mailings per Section 9.9.G have not yet been submitted. If previously transmitted, they likely need to be updated and resent.
- Notification to the adjacent municipality is required under 9.9.H.

Per CGS § 8-7d(a) the hearing must be closed within 35 days (November 25th) unless the applicant (or Commission under current Executive Orders) grants an extension. For Special Permit applications, when entwined with a Site Plan application, the Special Permit statutory time governs.

# Fees and Referrals

The application was submitted with a payment of \$1,802.47. The application fee needs to be recalculated.

The amount required for additional special permits may also need to be recalculated based on an updated application form when provided.

The amount required for the Excavation and Grading permit may need to be re-calculated or provided.

Per Chapter 248 of the Canton Town Code, additional fees may be required by the Commission with the following findings:

- (1) The nature and intensity of the project may have a significant impact on the site and its surrounding areas; or
- (2) The project is extraordinarily large, complex or otherwise significant project; or
- (3) Town staff will not be able to complete a technical review of the application in the time period prescribed by the Connecticut General Statutes; or
- (4) The project poses environmental, traffic and/or other issues beyond the expertise of the Permitting Authority's staff to evaluated and make appropriate recommendations.

Based on preliminary review, the following is recommended for the Commission's consideration:

- Erosion and Sedimentation Control Plan/ Excavation and Grading This application should be to the North Central Conservation District for a review and recommendation on the Certification required by Section 7.6.B.2, and the Special Permit required by Section 7.5. This would result in an additional fee that is payable by the Applicant directly to the District. With the amount of cuts and fills proposed, additional expert review comments from the District would be appropriate. The Commission should formalize a referral to the District for both items.
- Traffic Concerns have been raised questioning the potential impact of traffic associated with the proposal. The Commission should consider whether or not to require an additional fee for a technical review specific to traffic. If desired, a scope of work to conduct a third-party review (specific to traffic) of the proposed site development plan, proposed uses, submitted application materials, and surrounding context, inclusive of a report with recommendations to the Commission would be appropriate. A fee would need to be determined based on the authorized scope of work.
- This proposal requires a stormwater management plan and associated improvements under Section 7.13. Canton does not have a Town Engineer. The Commission may require additional review fees for an engineering review of the proposed stormwater system.

- This application affects a resource documented in the Town's Natural Resource Inventory which includes concerns/ stressors regarding development of traprock ridge formations. The application should be referred to the Canton Conservation Commission for comments. (It is understood that the Canton Conservation Commission will discuss this matter at their October 6<sup>th</sup> regular meeting regardless).
- This is a unique site that will require substantial manipulation to accommodate a development pad. The existing grade changes substantially across this site and the site to the east. If desired the Commission may wish to schedule a site walk to get a better understanding of existing conditions and proposed changes.

# **Checklist Review**

A detailed review of the application submission requirements is included in the checklist's review. This has been included as Appendix A. Because of the voluminous amount of regulation/ criteria to be reviewed, staff has limited printed comments to only those items that are potentially incomplete or in conflict with published standards.

### **Special Permit Considerations**

A review of the application special permit considerations has been included as Appendix B.

# **Exhibits**

A list of exhibits on file as of September 29, 2020 is included as Appendix C. The number of exhibits has since increased and the list is currently being updated.

#### **Completeness**

At the time of this memorandum, the application is not complete or in compliance with the regulations where indicated. However, due to the size and nature of this application there is sufficient information available for the Commission, staff, and public to comprehend the proposed changes and uses, and begin an evaluation of the applicable criteria.

The application, form, and notices should be updated by the applicant in response to these comments highlighting revisions where appropriate to allow for the Commission, public and staff to be able to ascertain any changes in accordance with the regulations.

# **Appendix A – Application Checklists Review**

A general review of the submitted materials indicates the application lacks or raises the following questions for the Commission's consideration:

### Site Plan Checklist:

- 1. Page A-12, Item #2, Application Form The application form is not complete as documented above.
- 2. Page A-12, Item #3, Application Fee The application fee is not complete/ requires updating as documented above.
- 3. Page A-12, Item #5, Deeds and Easements Checked off but not provided. Copy of deeds for both properties referenced but not provided. No draft easements are provided for review. Proposed development appears to affect multiple properties and associated easements may be required.
- 4. Page A-14, Item #16 Public Water Copies of approvals of the Connecticut Water Company not provided.
- 5. Page A-14, Item #17 Sewer Copies of approval from the Canton Water Pollution Control Authority not provided.
  - a. At the time this memorandum was drafted a Capacity Review application was not yet submitted to the Canton WPCA.
  - b. The site plan includes a building that transcends the Towns of Canton and Simsbury. The Town of Simsbury is requesting a multi-town sewer shed agreement. From discussions with the Canton WPCA Superintendent, it is not clear if a Sanitary Sewer Construction Agreement will be issued without a multi-town agreement.
- 6. Page A-14, Item #18. State Traffic Administration/ Local Traffic Authority The applicant has indicated OSTA review is not applicable. This should be confirmed during the proceeding. An encroachment permit will be required by CTDOT District 4. It is not clear what changes may be necessary to the frontage, entrance drive, and site from the District. The following additional concerns were raised in review of the project with the Town Planner, Canton Local Traffic Authority, Fire Chief and Project Administrator:
  - a. A westbound deceleration/ Right turn in lane is being added to Route 44 at the proposed signal.
  - b. An eastbound Left turn in lane is being added to Route 44 at the proposed signal
  - c. At the proposed eastern Right in/Right out only driveway there is no deceleration lane for incoming traffic from the east.

- d. Staff has concern regarding the traffic from the east being released at the signal servicing the Best Buy entrance. This may create a surge of traffic with increasing speeds that may suddenly have to brake for vehicles entering right into the site with no separate deceleration/ turn lane. A deceleration lane should be considered for the eastern Right in driveway.
- e. Signal timing must be coordinated.
- f. The eastern Right in movement is on an uphill slope on Route 44 into an uphill slope in the driveway entrance.
- g. The Right out at this location is a downhill slope into the existing eastbound travel lane. An acceleration lane on Route 44 should be considered. This should be evaluated for potential overlap with the Right in lane at the traffic signal.
- h. The Right out lane has a Stop Bar on the downhill side of the exit drive. Expected driver behavior would not likely result in a stop if a gap was present.
- i. A driver approaching or stopped at the Right out driveway is orientated by the design so they are looking over their shoulder to the left to view oncoming traffic. This is a difficult orientation for many drivers.
- j. Gaps in traffic should be analyzed for vehicles at the Right out stop bar accounting for the space and time needed to accelerate up hill on Route 44 in the vehicle travel lane.
- k. It is preferable if the eastern entrance was Right in only and all exiting traffic used the proposed traffic signal.
- 1. At the proposed signalized driveway for 9-15 and 21 Albany Turnpike, queuing for traffic exiting the site should be reviewed.
- m. Vehicles turning left out of the interior parking lot, into the signalized driveway, should not que across the 4-way internal intersection.
- n. A traffic signal was approved at the entrance to 3 and 5 Albany Turnpike. A desire for a signal at the intersection of Old Albany Turnpike and Brass Lantern at Route 44 has previously been raised. Also there is need for a signal at Colonial Drive, Gateway Commons, and Route 44. There should be some coordination regarding the previously approved signal at 3 and 5 Albany Turnpike, and the potential need or desire for the other two with the proposed signal.
- o. The signalized driveway is contingent upon the discontinuance and conveyance of Brass Lantern Road. This will require Board of Selectman and Town Meeting approval. A CGS 8-24 referral will be required for that process from the Planning function of the Commission.
- p. The current alignment of the west intersection of Brass Lantern and Route 44 is concerning for use as a primary entrance and exit drive for both Right turn and Left turn inbound and outbound movements. Providing access to 21 Albany Turnpike to/ from the proposed signal and limiting the west end of Brass Lantern Road to Right turns out only, would improve safety. (How these properties will access this signal to improve traffic safety for the area should be figured out prior to the discontinuance of Brass Lantern Road.)
  - i. A potential crossing of an extension of the Farmington River Rail Trail is planned at intersection of Old Albany Turnpike and Brass Lantern Road.
- q. Emergency responders need to maintain access to 21 Albany Turnpike.

- r. See additional comments regarding traffic from Project Administrator and Fire Chief in individually provided comments (Exhibits #31 and # \_\_\_[to be provided]).
- s. A traffic study has been provided by the applicant that may need to be updated to reflect changes submitted in the revised site plan. (The original site plan did not share access with the adjacent property, 21 Albany Turnpike.)
- 7. Page A-15, Item #20 Bonds Cost estimates not provided.
  - a. A landscaping bond per Section 7.1.G.5 may be required;
  - b. A bond may also be required under Section 9.1.D.4;
  - c. An excavation and grading bond may be required per Section 7.5.E.7.
  - d. Estimates for these are to be provided for a review and determination of adequacy per this section.
- 8. Page A-15, Item #22 Stormwater A stormwater management system is being provided. The Commission should evaluate the need for a third party engineering review to determine compliance with Section 7.13.
- 9. Page A-15, Item #23 Traffic The applicant submitted a traffic study. See comments under Item #6. The Commission may wish to require an additional fee to have their consultant provide a third party review specific to traffic.
- 10. Page A-15, Item #23, Erosion Control Defer to review comments from the North Central Conservation District.
- 11. Page A-16, Item 25.4, General A key map at a scale of 1"=500' is not provided.
- 12. Page A-16, Item 25.5, General Title block not complete.
- 13. Page A-18, Item #25.7, Zoning Schedule:
  - a. Not complete. A row with associated data to be provided for each of the items listed #1 #12.
- 14. Page A-17, Item #25.11, Easements/ Restrictions Locations of any necessary easements not shown on the submitted plans. If easements are necessary (easements and agreements between properties and owners or for consolidation or shared access, rights to pass, repass, etc...) the associated legal documents would need to be reviewed. In past similar proposals, easements of this nature have been noted on the plans (where applicable), filed with the application, and reviewed for the Commission by the Town Attorney.
- 15. Page A-17, Item #25.14, Water Supply Areas Because of the comments issued by the CT Water Company, the location of the Aquifer Protection Area that touches the property should be added to the plans so the Commission and public is aware of its proximity. (Sheet 2.10 is recommended).

- 16. Page A-17, Item #25.18, Utilities Stormwater facilities should be added to the legend (but is covered on the grading and drainage plan.)
- 17. Page A-18, Item #25.19, Environment Locations of public drinking water supply not identified on the submitted plan. Application does provide separate information indicating the presence of these areas on site, and reports to those authorities.
- 18. Page A-18, item #25.20, Buildings Location of HVAC equipment on building not identified.
- 19. Page A-18, Item #25.22, Cost Estimates Cost estimates for all site improvements not provided.
- 20. Page A-19, Item #25.27, Landscaping:
  - a. Required cost estimates not provided (Item 25.27.3)
  - b. Section 7.1.C.1 All portions of the lot not required for building, structures, driveways, or sidewalks shall be landscaped. There are two areas of the site plan that utilize pavement markings as opposed to landscaping per this section. One appears to be proposed as a loading area. Paint on pavement has not been allowed as a substitute for landscaping. (The Fire Chief will likely want to consider one or more of these areas as potential fire lanes).
  - c. Section 7.1.C.2 There appears to be no proposed retention of existing landscape. This is required wherever practical.
  - d. Section 7.1.C.10 Site grading proposes grassed/ lawn slopes over 25% which is in conflict with this Section.
  - e. Per Section 7.1.D.1 There shall be a landscaped area at least 10' in width along the perimeter of the front yard. The front yard for the western pad (with the pump islands) conflicts with this requirement.
  - f. Per Section 7.1.D.2 The required side yard planting area is provided within the area of the site being developed. The future extension of this should be required if the site is developed further along this line in the future. The proposed side yard planting area on the west side of the site conflicts with the proposed access drive to 21 Albany Turnpike when comparing the site layout plan to the landscaping plan. This calls into question whether or not it is intended to construct the entrance drive to the west or which plans represent the intended construction if approved. (This should be resolved prior to discontinuance and conveyeance).

g. Per Section 7.1.D.3.a, – One shade tree is required for every 40 lf of corresponding front, side, and rear lot line; one understory tree is required for every 40 lf of corresponding side and rear lot line; and one shrub is required for every 20 lf of corresponding side and rear lot line. Approximate lot line lengths and associated provisions are as follows:

			# of Shade	# of Shade
	Approx.		Trees	Trees
Lot Line	Length	Factor	Required	Provided
Front	735	40	19	5
Side(w)*	165	40	5	4
Rear*	N/A	40	N/A	N/A
Side(e)	N/A	40	N/A	N/A

\*Provided within the side yard within the proposed development pad. However the landscaping plan conflicts with the site layout plan where an entrance drive to 21 Albany Turnpike is shown to be where plantings are proposed.

\*\*While the developed portion of the site does not reach the rear yard, the landscaping plan does propose 4 shade trees along the rear portion of the development pad in Canton.

	Annroy		# of Understory Trees	# of Understory* Trees
Lot Line	Approx. Length	Factor	Required	Provided
Front	735	0	N/A	N/A
Side(w)*	165	40	5	0
Rear**	N/A	40	2	0
Side(e)	N/A	40	N/A	N/A

			# of	# of Shrubs
	Approx.		Shrubs	Provided
Lot Line	Length	Factor	Required	
Front	735	N/A	N/A	N/A
Side(w)*	165	20	9	0
Rear**	N/A	20	11	7
Side(e)	N/A	20	N/A	N/A

- h. The Landscape Area Compliance Table should be updated to include a value for Section 7.1.E.2.
- i. Construction details for both bituminous and concrete curbing are provided. Curbing to be stone or Portland cement concrete per Section 7.1.E.6.
- j. Section 7.1.E.8 The required 15' landscape buffer not provided.

- k. Section 7.1.F Mature height not provided.
- 1. Modifications if intended to be requested under Section 7.1.H. Modifications must be applied for in writing under Section 9.1.A.12. No requests for modifications have been submitted.
- 21. Page A-19 Item #25.28, Section 7.2 Parking and Loading
  - The parking data provided accounts for the site plan as a whole.
  - The parking data appears to be incomplete. It should account for all uses conducted within the 8,384 sf building which will comprise of areas for retail and class I, II, and possibly III, restaurants, inclusive of the outdoor dining area per 7.10.B.8.
  - The total number of parking spaces necessary for a gas station falls under the "other uses" category.
  - The total number of parking spaces for the electric vehicle show room includes the number of services bays and employees. Does this need to be reconciled for the number associated with both uses within the Town of Canton and associated parking within the Town of Canton?
    - The parking associated with the repair use is evaluating a special permit use that is not a part of the application proceeding.
  - Because of the multiple uses proposed, the total parking requirement should be determined following Section 7.2.C.8, Multiple Uses.
  - The notice description should be updated to reflect the number of parking spaces proposed
  - a. Section 7.2.D.1.d The southernmost parking space on the east side of the site has a 4' turning area which may not be adequate.
  - b. Based on the parking data proposed for the gas/ convenience building, the layout does not comply with Section 7.2.D.3.d which requires reduction of parking lot mass and at least 75% of the parking to be provided behind the building line associated with that parking. The Commission should review this interpretation and confirm its application. The majority of parking is behind the building line for the larger building on the site.
  - c. Section 7.2.D.5.a and b. Access Drives See comments on Page 1 for Checklist Page A-14 Item #18. See also Section 7.2.D.5 Access Management on Appendix A Page A-7, and Section 7.9 on Appendix Page A-11 Checklist Page A-20 Item #25.35. Per 7.2.D.5 entrance and exit drives "shall be located as to not create hazards to pedestrian, cyclists in the street." No accommodations are proposed to assist people who are walking or biking to the site or along the street. See also East Gateway Infrastructure description in Appendix B, Page B-8.

- d. Section 7.2.D.5 Access Management Section 7.2D.5 prohibits the Commission from approving the plan unless it meets the criteria of this section. See comments on Page 1 for Checklist Page A-14 Item #18. Are reasonable efforts being made to:
  - i. reduce curb-cuts and provide shared access on abutting lots,
  - ii. establishing lot inter-connections using internal driveways and walkways,
  - iii. locate turning movements to the most appropriate locations,
  - iv. separate driveways from nearby intersections, and
  - v. provide more than one means of access, ingress and/ or egress.

Note: There appears to be some access management considerations for 21 Albany Turnpike but it is not clear as presented. Access management does not appear to consider people visiting the site or moving between sites outside of an automobile. Inter-lot connections between proposed walkways and pedestrian areas do not comply with Section 7.9 as noted on Appendix A Page A-11.

- e. Section 7.2.D.5.b Consultation with CTDOT District 4 is required. This was in the process of being scheduled by the applicant at the time this memorandum was written.
- f. Section 7.2.D.6 Fire lanes to be added to the plans and marked on pavement per the comments from the Fire Chief (*written comments pending*). A cross walk is not marked along the driveway entrance on the west side of the proposed vehicle showroom.
- g. Section 7.2.D.8 Snow storage areas not provided.
- h. Section 7.2.D.9 Wheelstops To be provided in areas where pavement is flush with sidewalk.
- i. Section 7.2.D.13 All curbing to be stone or Portland cement concrete.

# 22. Page A-19 Item #25.29, Section 7.3 Signage –

- a. There is one location shown for a proposed commercial sign on the site layout plan that refers to Sheet 3.02. More than one sign is shown on this sheet. It should be identified which is to be utilized at this location. At least one of the signs does not comply with Section 7.3.F, General Sign Standards as presented. More detailed review comments will be submitted from the ZEO specific to signage, including wall mounted tenant signage.
- b. Additional information is necessary per Items 25.29, 1-4, and to determine compliance with Section 7.3.
- c. Additional signage is anticipated beyond what has been provided based on the nature of gasoline service stations, convenience stores, restaurants and automobile dealers.

- 23. Page A-20, Item #25.30 Outdoor Lighting
  - a. A photometric survey inclusive of a "non-business hour lighting plan" is required by Section 7.4.C.10 and Section 7.12. Non-business hour lighting plan not provided.
  - b. Wall mounted light fixtures shown on the Lighting Plan conflict with those shown on the Elevations.
  - c. A detail for W-3 is provided but not used on the lighting plan.
  - d. Light call out G1 is used on the lighting plan but a detail is not provided.
  - e. Why is the more decorative lighting used in only two locations on each building? This is not consistent with other recent buildings constructed within the Business District in the East Gateway.
  - f. Off building, pedestrian scale lighting as applied at 115 Albany Turnpike should be considered, consistent with lighting of other sites in the East Gateway



Figure 1 - Pedestrian Scale Lighting along Building Walkways



Figure 2 - Pedestrian Scale Lighting along Building Walkways



Figure 3 - Pedestrian Scale Lighting along Building Walkways

g. The Lighting Plans for Business zoned properties in the East Gateway, inclusive of signage, pedestrian scale lighting and general parking lot lighting, was carefully considered and approved by the Commission with the cooperation of the applicant and members of the public. The Commission may wish to discuss additional coordination for the purpose of design continuity.

# 24. Page A-20, Item #25.31, Earthwork and Grading

- a. A performance/ maintenance bond estimate for an amount to be associated with the Excavation and Grading Permit is to be provided in accordance with Section 7.5.E.7.
- b. A special permit is required for the amount of earthwork proposed.
- c. The zoning compliance table needs to be updated to reference the quantities proposed.
- d. Due to the volume of earthwork proposed the Commission should seek additional review comments from the North Central Conservation District.
- e. The Commission must consider the criteria of Section 7.5.E, Additional Special Permit Considerations, in addition to the criteria of Section 9.2.E. The Special Permit Criteria has been included as Appendix B. It is the responsibility of the applicant to demonstrate that this criteria is met.
- f. The required Checklist 1.7, Additional Requirements for Earth Removal in Connection with a Special Permit Activity was not provided.
- g. The required project schedule and processing plan was not identified.

#### 25. Page A-20, Item #25.33, Section 7.7 Fences and Walls –

- a. A special permit is required for walls of this nature per this section.
- b. Standard maximum height of a retaining wall is 8' per Section 7.7.C.2. The application proposes a wall at a maximum height of 52' on top of a 5' slope. For comparison, below are examples of the two tallest retaining walls within the Town of Canton. The proposed wall maximum height is approximately three hundred percent greater.
- c. Top of Wall and Bottom of Wall elevation references should be provide along the proposed wall layout.
- d. A fence will be provided at the top of the retaining wall, the height of which is not identified.
- e. The Special Permit Criteria of 9.2.E must be evaluated in relation to the proposed walls

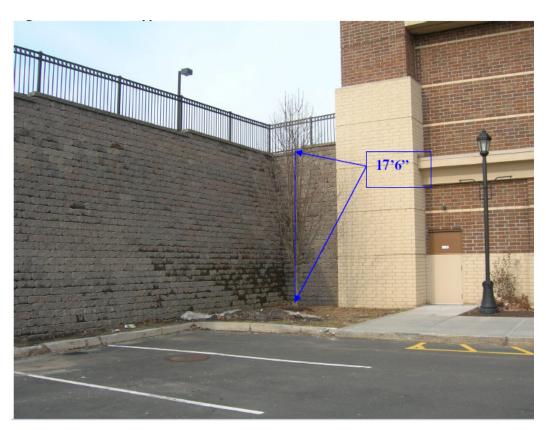


Figure 4 - Retaining wall next to Kohl's at The Shop's

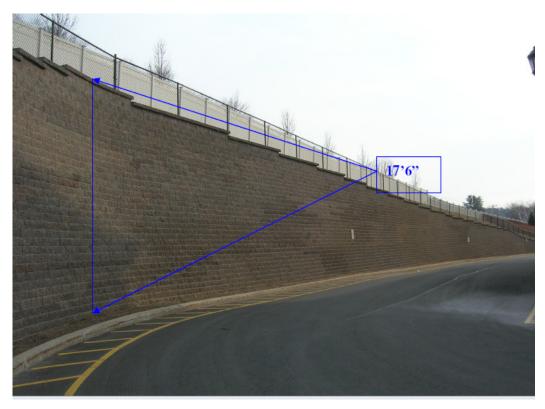


Figure 5 - Retaining Wall along Route 44, Behind Shoprite

- 26. Page A-20, Item #25.34, Section 7.8 Traffic and Visibility at Intersections
  - a. Concerns regarding traffic have been noted under Item #6 above starting on Page A-1.
  - b. The Commission may wish to engage the services of a professional traffic engineer.
  - c. Information required by Section 7.8.C should be added to the plans.
  - d. A truck turning template provided by the Canton Fire Department should be added to the plans (Section 7.8.C.2.)

# 27. Page A-20 Item #25.35, Section 7.9 Bicycle, Pedestrian, and Emergency Accommodations

- a. Section 7.9.B The design is deficient in meeting the following requirement:
  - "All development shall be designed to provide safe and convenient pedestrian and bicycle access as part of any site design, including safe and convenient pedestrian and bicycle movement to and from public walkways and/ or bikeways or streets, and between developed lots"
- b. Safe and convenient access to and from public walkways and or bikeways and streets and between developed lots not provided in the submitted plan.
- c. Section 7.9.C.1 Safe and convenient pedestrian ways are not provided to the buildings on the lot from the public street and to and from and in-between buildings on the lot.
- d. Section 7.9.C.2.a Sidewalks less than 6' in width are located perpendicular to parking spaces in conflict with this section.
- e. Section 7.9.C.2.b Requires raised sidewalks and/ or landscaping between sidewalks and parking spaces. Parking areas south of the main entrance drive, east and west of the pump island, have no pedestrian connection to the sidewalk in front of the Gas/ Convenience building.
- f. Section 7.9.C.2.d Requires connection of pedestrian ways internal to the site to connect to the public street. Not provided.
- g. Section 7.9.C.f Pedestrian connections to adjacent lots not provided.
- h. The regulations were drafted with the understanding that a person at 9-15 Albany Turnpike should be able to get to and from buildings on adjacent sites without getting into a car. Pedestrian access to the adjoining lot to the west or potential development elsewhere on the site is not provided.
- i. Additional development is anticipated in the future and considerations should be made for future connections.

- j. Section 7.9.C.3 Pedestrian crossings, and the provisions required by this section including raised pavers, textured concrete, pavement markings, warning signs, not provided in all locations where required.
- k. Section 7.9.C.4 Benches not provided.
- 1. Modifications of these standards have not been requested per Section 7.9.D.6.c, which must be made in writing as part of the application per Section 9.1.A.12.
- m. Section 7.9.D.1.b and 7.9.D.2 Required bicycle parking not provided.
- n. This area is identified in the Town's Plan of Conservation and Development as a Priority Traffic Calming Area. It is also identified in the Plan as a Priority Pedestrian Area. (POCD Maps Pages 69 and 71)
- o. This area is also identified as an area intended for a future extension of the Farmington River Rail Trail. (POCD Maps Pages 69 and 71)

The Canton Board of Selectman recently approved a proposal to seek funds to extend the current trail at the Route 44/ Lovely Street intersection east through the Shop's at Farmington Valley to Secret Lake Road. In accordance with the Town's Plan, this would continue to Old Albany Turnpike and Brass Lantern Road into/ along this specific property. (The Commission should consider a comment in the eventual 8-24 referral that the road not be discontinued and transferred without an easement to the Town allowing for an extension of the recreational trail.) The Farmington River Rail Trail is an important active transportation route.

The Town Plan documents the Town's intent to see that transportation facilities and services are developed to best serve the entire community, including those who do not travel via automobile. Considerations for all transportation users are not contemplated by the designed.

Through the development of the Town Plan the supporting interests of people who bike and walk through this area were documented and incorporated. There are worn 'desire lines' on sides of the road where people walk back and forth between areas in Canton and Avon and Simsbury. The proposed convenience facility and restaurant provides another desirable destination in-between. Additional improvements should be provided to support existing and anticipated non-motorized users of Route 44 in this vicinity. Additional improvements on Route 44 are necessary under CGS 13-153f.

It should be understood that all of the properties in the vicinity in Canton are zoned for high density development (including high density residential) on both sides of Route 44. As properties are developed in the vicinity, the usage and demand by non-motorized users will increase. The POCD acknowledges this infrastructure description of the East Gateway

"Even though bicycle and pedestrian facilities are limited along the Route 44 corridor, the area has been experiencing increased bicycle and pedestrian traffic and more is expected in the future due to the completion of the Farmington River Trail from Collinsville to the intersection of Routes 177 and 44. Efforts to increase access, safety, and connectivity for pedestrians and cyclists within this area and to connect the commercial areas of Canton to those in Avon/Simsbury should continue. A safe environment for pedestrians and cyclists is encouraged."

A crossing of the Farmington River Rail Trail, and regular non-motorized traffic will require full pedestrian phase signal heads and crossing,

Canton is a Designated Bicycle Friendly Community.

The Commission may consider the Town's Plan as part of the Special Permit Criteria.





Figure 6 - Page 74 of the POCD, Project Area, Route 44



Figure 7 - Project Area, Route 44



Figure 8 - Project Area, Route 44



Figure 9 - Project Area, Route 44



Figure 10 - Project Area, Route 44



Figure 11 - Project Area, Route 44



Figure 12 - Project Area, Route 44

- 28. Page A-20 Item #25.36, Section 7.10 Outdoor Display, Dining, and Storage Areas –This is a special permit which must be evaluated to determine compliance with the criteria of Section 7.10 and 9.2.E. The site plan must show location, design, dimension, data and details of proposed outdoor display areas. Only one area is identified. This area is counted as additional space for parking and other applicable requirements.
- 29. Page A-21, Item #25.39, Section 7.13 Stormwater Management A Stormwater Management System has been designed. The applicant must demonstrate compliance with this section. The Commission may require a separate engineering review.
- 30. Page A-21, Item #26 Architectural Plans
  - a. Two buildings are proposed. The Architectural Plan submission is incomplete. The applicant should review the requirements of Checklist Item 26 and submit updated plans.
  - b. These appear to be conceptual in nature. The architectural plans submitted to the Commission should represent the buildings as they would be constructed. When the Commission approves architectural elevations they are expected to be what is constructed and enforced through the post approval building permit process.
  - c. Building footprints on the site plan are not identical to the building foot prints provided as part of the architectural set. While minor, there should be no discrepancies.
  - d. The Commission should take into consideration the design elements presented on the architectural plans and site plans when evaluating the special permit criteria.

- 31. Item 27, Computer Simulation Due to the extensive manipulation of the site that is required to create the development pad, and the visual effect it will have in addition to the site and building designs, a computer simulation is recommended per this Item and Section 9.1.A.5.
- 32. Item 31, Waivers none requested.

# Requirements for Erosion and Sediment Control Checklist

1. Defer to comments from the North Central Conservation District.

# **Special Permit Checklist:**

- 1. Page A-25, Item #4, Application Fee to be re-evaluated.
- 2. Page A-27, Item #13.9 The application is deficient in recommendations for pedestrian and bicycle circulation.
- 3. Page A-27, Item #15 Traffic Comments from the State are pending.
- 4. Page A-27, Item #16 Comments from Fire Marshal are pending.
- 5. Page A-28, Item #18 Topo/ Drainage The Commission may require the submission of additional data in cases with unusual topographic. The existing conditions of this property are 'topographically challenged' and additional information may be necessary.
- 6. Page A-28, Item 20 The required narrative describing compliance with the Special Permit Criteria not provided
- 7. The Commission must evaluate the Special Permit Criteria of Section 9.2.E.

# Additional Requirement's for Earth Excavation in Connection with a Special Permit:

1. Checklist not submitted.

# Appendix B - Special Permit Considerations

Different zoning districts allow different uses of land and buildings. Some uses are determined to encourage the most appropriate use of land within certain districts and are therefore allowed by Site Plan approval or by Zoning Permit (permitted uses). Other uses are allowed only after obtaining a Special Permit from the Commission. Special Permit uses are generally acceptable within the district, but are subject to standards set forth in the regulations and to conditions necessary to protect the public health, safety, convenience and property values (such standards are known as the Special Permit Criteria, Section 9.2.E). This ensures such Special Permit uses are compatible with and appropriate for the specific sites and surrounding areas in which they are proposed. When an owner seeks to make use of their property with a permitted use, it is presumed that such use already complies with the Special Permit Criteria as it has been previously found to be appropriate in that district. The Special Permit Criteria is provided below.

In considering any application for a Special Permit, the Commission shall, in addition to other standards in these Regulations, evaluate the merits of the application with respect to the following factors:

- 1. **Plan of Conservation and Development** Whether the proposed use or activity is in accordance with or facilitates achievement of one or more of the goals, objectives, policies, and recommendations of the Plan of Conservation and Development, as amended;
- 2. **Purposes of Regulations** The proposed use or activity is consistent with the purposes of the Regulations;
- 3. **Environmental Protection and Conservation** Appropriate consideration shall be given to the protection, preservation, and/or enrichment of natural, scenic, historic, and unique and environmental resources and features which enhance the character of the community;
- 4. **Suitable Location for Use** with respect to:
  - a. The size of the lot;
  - b. The nature and intensity of the activities involved in or conducted in connection with the use;
  - c. The streets giving access to it are such that the use shall be in harmony with the appropriate and orderly development in the neighborhood in which it is located; and,
  - d. The impact on neighboring properties and residences or the development of the district.

#### 5. Appropriate Improvements

- a. The design elements shall be attractive and suitable in relation to the site characteristics, the style of other buildings in the immediate area, and the existing and probable future character of the neighborhood;
- b. The location, nature and height of buildings, walls, and fences, planned uses and the nature and extent of landscaping on the lot shall not hinder or discourage the appropriate development and use of land and buildings in the neighborhood or impair the value thereof;
- c. The proposed use shall have no material adverse impact upon the neighborhood;

#### **6.** Suitable Transportation Conditions

- a. The design, location, and specific details of the proposed use or activity shall not:
  - i. Adversely affect safety in the streets;
  - ii. Unreasonably increase traffic congestion in the area;
  - iii. Interfere with the pattern of vehicular circulation in such a manner as to create or increase unsafe traffic conditions.
- b. Parking area or areas shall:

- i. Be of adequate size for the particular use;
- ii. Be suitably screened from adjoining residential uses; and
- iii. Have entrance and exit drives laid out so as to prevent traffic hazards and nuisances.
- c. Streets and other rights-of-way shall be of such size, condition capacity, width, grade, alignment and visibility to adequately accommodate the additional traffic to be generated by the particular proposed use.

# 7. Adequate Public Utilities and Services

- a. The provisions for water supply, sewage disposal, and storm water drainage shall:
  - i. conform to accepted engineering practices;
  - ii. comply with all standards of the appropriate regulatory authority; and
  - iii. not unduly burden the capacity of such facilities.
- b. The proposed use or activity shall:
  - i. provide ready accessibility for fire apparatus and police protection, and
  - ii. be laid out and equipped to further the provision of emergency services.

#### 8. Nuisance Avoidance

- a. The use shall be appropriate for the area, shall not create a nuisance, and shall not hinder the public health, safety, convenience, and property values.
- **9.** Long Term Viability Adequate provision shall be made for the sustained maintenance of the proposed development including structures, streets, and other improvements.

Staff has provided observations below that the Commission may wish to consider in their review of the proposal against this criteria.

# Use and Location Considerations

This site contains a single family home that is no longer occupied; within in an area that has been identified for business development for over 63 years (Zoning was adopted by the Town of Canton on June 3, 1957). The proposal is located on an existing business lot in a well-established area of business activity. In close proximity are retail stores over 2,500 sf, gasoline service stations, restaurants of multiple classes (with and without drive-thru's) and a variety of other industrial, retail and service businesses.

Several uses are allowed on the property via Zoning Permit approval by staff (no special permit required, no public hearing requirement) including:

- Retail service businesses up to 2,500 square feet (sf);
- Personal service businesses up to 2,500 sf;
- Massage therapy;
- Professional offices;
- Banks;
- Restaurant (Class I and II);
- Mercantile industrial (artists, crafts, studios, jewelry, small food items and their assemblage up to 2,500 sf;
- Motels/ Hotels;
- Bed and Breakfast;
- Residential unit on the upper floor;

These properties front Route 44, the Town's main transportation and commuting route. Just under 29,000 average daily vehicle trips occur in front of this property. This context is likely attributable to the Town's identification of the Route 44 corridor as an area to support development and economic interests.

This property is in close proximity to planned extensions of the Farmington River Rail Trail and the Town's Bicycle pedestrian network.

It should not be lost in the background discussion of this application that the Town invested in a public charrette process to develop a Form Based Code which will define the future development pattern and character of the Route 44 corridor. That code now dictates the future development of the surrounding properties in the area.

Also within the immediate context there is a substantial amount of adjacent land to the north of the area. These lands are also identified as Opportunity Locations for future development. The future development of those properties cannot occur without access to Route 44. The applicant's proposal to construct a traffic signal and new entrance drive would facilitate access to those properties.

#### Plan of Conservation and Development

The following analysis is provided for the Commission's consideration as they form their own findings.

The POCD was written with an understanding that growth and change will be inevitable, but such growth and change must be guided and shaped to positively reflect the character of the community.

In analyzing the POCD it is important to consider the two prominent themes of the document which are:

- Preserving community character; and
- Building and sustaining the economic vitality of Canton.

As indicated in the Preface of the POCD, these themes may pull in different directions but are not incompatible, and if applied successfully, both themes will work together to enhance the overall quality of life in Canton. Therefore the theme of 'balance' is paramount in considering any competing interests.

Staff's interpretation of the POCD Update Committee's efforts in the architecture of the document is to reconcile the chapters, strategies, and implementation measures with the community character principles of the Plan (seeking to achieve balance). This is done to ensure such character is not unnecessarily diluted by our own actions or those of others.

Relevant excerpts of Canton's Fundamental Values:

• How We Want to Grow – "Economic growth and development is fundamental to our community's future and quality of life. Business development in suitable locations must happen in a manner that enhances the character of the community and reinforces strong property values." This is directly related in the plan as a means for the "Services We Want to Have"

#### • Things We Want to Protect –

Natural Resources, "Natural resources are an integral component of what makes our town unique and attractive. We will encourage the protection and preservation of important natural resources, while balancing the rights of property owners."

Community Character, "Our town is rich in physical and social character. While the physical elements of character are often the main focus of a Plan of Conservation and Development, we are also proud of its social character which consists of many styles, personalities and tastes, all of which contribute to its independent, artsy, small-town character. Preserving and enhancing both types of character is important to us."

# Summation and Analysis of POCD References

The POCD further calls for the Commission to understand the context of the neighborhood in which such changes are proposed. It is important that the Commission recognize the diversity and background of what makes a particular neighborhood a distinctive and special place before it is augmented. Changes to an area should enhance, not detract, from the distinctive characteristics of an area. Such change must be done in a manner that recognizes the context of the neighborhood in which the change is proposed.

The subject property currently retains a non-conforming single family use that predates zoning. This is the first application for a conforming use on the property before the Commission.

The property is located just west of a prominent node between two state transportation corridors (State Routes 44 and 167) with a substantial amount of traffic, near active areas of commerce. Immediately south of this property are parcels that were approved for a Lowes Home Improvement Center in 2007. This southeast corner of Town contains the majority of the town's remaining inventory of land for development opportunities. Land in this area has historically been available for development with clear business potential and opportunity. While the Town has created incentives and opportunities for infill and redevelopment to occur in other areas of Town, this area remains targeted for economic growth.

# POCD Strategic Direction, A. Page 35:

"In Canton, there is a need to increase the amount of land available for commercial development and to increase the assessed value of existing commercial parcels. Increasing the proportion of the property tax base that is commercial will decrease the relative tax burden on existing homes and businesses in Canton. It is a goal of this POCD to mitigate our historic reliance on residential property taxes by affording more opportunities for business within business zones, creating more business-friendly zones, and perhaps finding new sites to convert for potential business development. This is likely to be increasingly important in the future for Canton, as the town has only about 50 acres of undeveloped land zoned for business and approximately 4,500 acres of undeveloped residential land. Managing the business to residential tax proportion will be key to keeping the Town's tax rates competitive and keeping Canton a desired place to live and run a business."

Out of the remaining undeveloped land that is intended for development, 98.9% is zoned for 'tax negative uses'. A Cost of Community Services Study was performed by the Canton Economic Development Agency which identified for every one dollar of tax revenue received from residentially zoned land, \$1.10 is expended in associated services. Whereas for every one dollar of tax revenue received from commercially zoned land, \$0.32 is expended in associated services. (For agricultural and open space lands the ratio is similar to commercially zoned land).

With 85% of the current grand list derived from residential properties, and 98.9% of the towns' remaining developable land zoned for residential, the community is in a difficult situation. As a result implementation measure ED1 was incorporated in the POCD to "Pursue a long term goal to increase the tax base proportion from 15% commercial/ 85% residential to 20% commercial/ 80% residential." In order to help facilitate this, and offset the mounting tax burden on residential properties, a series of economic development strategies were employed, including but not limited to identifying Opportunity Locations for economic development.

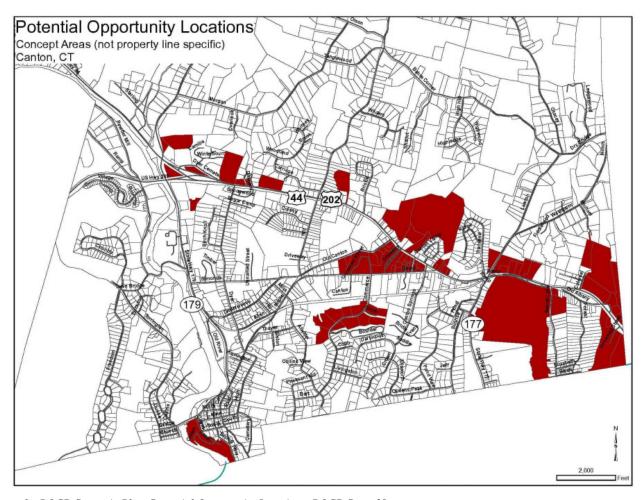


Figure 1 - POCD Strategic Plan, Potential Opportunity Locations, POCD Page 39

#### **Opportunity Locations**

Within the POCD, the term "opportunity locations" is used to identify:

- Sites of significant economic potential; or,
- Sites where there is an expectation of a meaningful/tax positive contribution to the tax
- Sites where there are known development interests.

These sites may or may not be zoned for business use today or in the future.

These sites may or may not be developed today. If developed today, these sites may or may not be developed to their full potential.

The map on the facing page identifies some possible opportunity locations in Canton.

Figure 2 - POCD Strategic Plan Opportunity Locations, POCD Page 38

It should also be noted that a substantial amount of land identified north of the proposed pad is also identified as Opportunity Locations. The development of those will require the construction of an entrance on Route 44.

The POCD does not call for the development of properties identified as opportunity locations just for the sake of development and purpose of revenue. The POCD is clear in that future economic development is to enhance the community.

It is likely a common understanding that the ridgeline in the southeast corner of Town is a visual gateway into the community. However, it was not identified through the substantial public engagement process of preparing the plan as a "character resource" (Map on Page 15). It is however identified in the Natural Resources portion of Plan and identified in the subsequently adopted Natural Resource Inventory. It is also identified as a scenic quality in the conservation description of the area.

The area has been specifically identified and described by the Plan as the East Gateway District. The East Gateway District includes a summary of attributes pertaining to conservation, development and infrastructure on Page 90.

#### Character

Canton has had success in recent years ensuring that commercial development does not utilize cookie-cutter architecture and site designs.

The use of frequently replicated corporate models or big buildings with flat roofs, uniform facades, and expansive parking areas separating buildings from the street have been discouraged, or the impacts have been mitigated or screened.

The Gateway Commons business park and the recently constructed CVS pharmacy are considered to be excellent examples of more intensive commercial development that promotes the establishment and maintenance of character for the area, and should be modeled (with practicality) to retain and provide character.

Future development that is visually attractive and bicycle-friendly and pedestrian-friendly will be conducive to Canton and will lead to economic success.

Figure 3 - East Gateway Character Description, Page 90



Figure 4 - East Gateway Character, Page 90

The proposed designs should be evaluted agains the examples provided in the character description should be evaluted against the proposed designs.

<u>East Gateway Conservation</u> - "An existing trap rock ridge towards the east side of this district (near the Town Line) is a defining scenic quality of this gateway. Jims Brook and Roaring Brook run through this area feeding the wetlands systems associated with Secret Lake. This area also contains a CT DEEP aquifer protection area - a natural resource (as well as a public water supply area) that requires consideration for certain proposed development activities. Past industrial activities and discharges resulted in groundwater contamination associated with the Swift superfund site near the intersection of Route 44 and Colonial Road."

<u>East Gateway Development</u> – "The East Gateway is Canton's large scale commercial retail corridor and most active growth area. This area contains national retail businesses anchored by the Shoppes at Farmington Valley, a regional shopping destination. The district also includes some small industrial areas as well as other scattered local business enterprises.

Currently, this district is the primary tax revenue growth engine for Canton. Approximately 50% percent of the Town's non-residential property tax revenue is derived from within this district. Economic growth in this district is expected to bring revenue to pay for needs and services throughout the community. A few opportunity locations (key areas of significant economic potential) remain in this area and a number of parcels in the district are good candidates for infill and more intensive redevelopment. An industrial-zoned area on the south side of Route 44 near the Town Line with Avon (and on the east side of the trap rock ridge – a.k.a. Ledgemere) is identified as an opportunity location for future development.

East Gateway Infrastructure – State Route 44 (Albany Turnpike), and its associated vehicular traffic, is the principal factor affecting the East Gateway District. Even though bicycle and pedestrian facilities are limited along the Route 44 corridor, the area has been experiencing increased bicycle and pedestrian traffic and more is expected in the future due to the completion of the Farmington River Trail from Collinsville to the intersection of Routes 177 and 44. Efforts to increase access, safety, and connectivity for pedestrians and cyclists within this area and to connect the commercial areas of Canton to those in Avon/Simsbury should continue. A safe environment for pedestrians and cyclists is encouraged. Water and sewer, although available within the district, is limited. Provision of public water and sewer service areas to identified opportunity locations will support economic growth.



Figure 5 - Page 91 East Gateway

East Gateway Roadway Considerations – "Route 44's large traffic volume creates a ready customer base for businesses in the district; it also creates a number of drawbacks typically associated with high traffic flows. Access management (controlling the number and location of driveways) will be an important tool to maintain an adequate level of service in this area for traffic while also providing relatively convenient access to properties. The entrance to Gateway Commons and the Colonial Road industrial area is an example of a location where turning movements can be very uncomfortable for drivers, and therefore would benefit from a coordinated signal light. Lawton Road and Washburn Road, which pass through older residential neighborhoods, are used as a cut through for traffic destined for the center of Simsbury, Bradley Airport, and other locations to the north and east. It is important for the Town to remain conscious of the impacts of vehicular traffic in the district and the opportunities and need for mitigation in the future."

See also POCD References documented in Appendix A, Page A-12-A-16.

The Future Land Use Plan (FLUP) on Page 101 identifies this area as one for business uses.

Pages 102 and 103 of the Plan also apply weight factors in evaluating attributes favoring conservation and development.

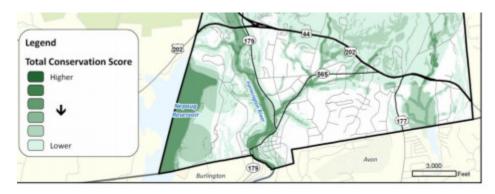


Figure 6 - Factors Favoring Conservation - Low Score

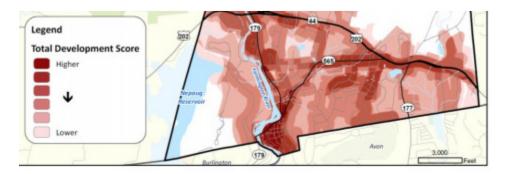


Figure 7 - Factors Favoring Development - Moderate to High Score

This area is not specifically targeted or called out as an area intended for conservation in the Plan. It is however explicitly identified as an area targeted for economic development.

The Commission should consider the following questions regarding the Special Permit criteria specific to the POCD:

- Does the addition of the proposed use further or detract from the interests of the POCD summarized above?
- Will the intended use, if allowed on the site, occur in a manner that maintains the context sensitivity to the surrounding built environment and character of the surrounding area?
- Does the proposal meet all current design standards to appropriately accommodate the use in this area?
- Would approval of the proposed use change/ upset the present proximity and relationship between businesses and residents?
- o Is the addition of the proposed use appropriate at this time and in the proper direction of the suggested Business Use indicated on the Future Land Use Plan?
- O Does approving the proposed use result in a situation that will dilute or enhance the character of the community?
- o Is the use as proposed appropriate in recognition of the context of the neighborhood in which it is proposed?

A final determination of the consistency of this proposal with the POCD must be made by the Commission during the proceeding.

#### Purpose of the Regulations

The purpose of the Business District is to provide areas for retail, offices and service type uses.

The purpose of the Zoning Regulations are:

- 1. To promote the orderly growth and development of the Town in accordance with the adopted Plan of Conservation and Development;
- 2. To promote the health, safety and general welfare of the community, lessening congestion in the streets, prevent the overcrowding of land, avoid undue concentration of population, provide for light and air, and to facilitate the adequate provision for transportation, water, sewerage, schools, parks and other public improvements;
- 3. To divide the Town into districts with considerations as to the character of each district and its suitability for particular uses, so as to conserve the value of property and buildings and promote the most appropriate use of land throughout the Town;
- 4. To protect historic factors and existing and potential groundwater and drinking water supplies of the Town;
- 5. To assure that proper provision is made for sedimentation control and the control of erosion caused by wind or water;
- 6. To encourage the development of housing opportunities, including opportunities for multiple dwelling units, consistent with soil types, terrain and infrastructure capacity;

- 7. To promote housing choice and economic diversity in housing, including housing for both low and moderate income households, and shall encouraging the development of housing which will meet identified housing needs; and
- 8. To encourage: energy efficient patterns of development; the use of solar and other renewable forms of energy; and energy conservation.

# Environmental Protection and Conservation

Appropriate consideration shall be given to the protection, preservation, and/or enrichment of natural, scenic, historic, and unique and environmental resources and features which enhance the character of the community.

Factors applicable for consideration under these criteria have been introduced above.

Defer to comments from the Canton Conservation Commission, anticipated review to occur on October 6<sup>th</sup>.

This area contains a documented natural resource, an amphibolite/ trap rock ridge. The trap rock ridge is a defining natural and scenic resource as one enters into Canton though the East Gateway. There is no question it would be disturbed through this proposal.

Connecticut municipalities have the ability to adopt 'ridgeline protection' regulations under CGS 8-1aa, and 8-2(c). This was raised by staff as a proposal to the Commission and discussed in 2008. At that time the Commission declined pursuing ridgeline protection regulations. This was likely attributable to the substantial strain and stress that occurred in the community over the Hill Top Overlay District proposal that occurred pre-2007. The Hill Top Overlay District proposal was ultimately rejected after a public process that has been described as having caused much stress and strain on the community.

#### Suitable Location for Use – with respect to:

- The size of the lot;
- The nature and intensity of the activities involved in or conducted in connection with the use;
- The streets giving access to it are such that the use shall be in harmony with the appropriate and orderly development in the neighborhood in which it is located; and,
- o The impact on neighboring properties and residences or the development of the district.

The size of the lot is more than adequate to accommodate the proposed uses. However the natural conditions of the property make it a challenging land area to utilize.

The proposed use and activities to occur on the lot, once developed, are not more intense than any other commercially zoned property within the East Gateway or in the other direction in Avon and Simsbury.

The existing and proposed condition of the street, proposed access, and its effect on other properties in the district and its development pattern need to be reviewed. Roadway and access changes need to accommodate all users of the road, and also should benefit, not hinder, the development of nearby properties. Some traffic management concerns have been raised in Appendix A.

# **Appropriate Improvements**

- The design elements shall be attractive and suitable in relation to the site characteristics, the style of other buildings in the immediate area, and the existing and probable future character of the neighborhood;
- The location, nature and height of buildings, walls, and fences, planned uses and the
  nature and extent of landscaping on the lot shall not hinder or discourage the appropriate
  development and use of land and buildings in the neighborhood or impair the value
  thereof;

As a result of the recent zone changes to all the properties in the vicinity establishing it as a Village District under CGS 8-2, the probably future character of the neighborhood is known. In fact the future character will be dictated as part of the Form Based Design Code now in place.

# **CANTON**

# Canton Village Districts Form-Based Design Code



#### CANTON PLANNING AND ZONING COMMISSION

Town of Canton, Connecticut

Effective April 10, 2018

Figure 8 - Future Character of the East Gateway

The Form Based Design Code provides character descriptions, inclusive of architectural standards.

The Commission should evaluate the proposed building design in consideration of the East Gateway Character Descriptions in the POCD and the Form Based Code, inclusive of the architectural standards to the extent they help achieve a compatible design.

#### CHARACTER FOR EAST GATEWAY DESIGN VILLAGE DISTRICT

The Main Building Form Standard has different examples for the east and west ends of Albany Turnpike. The East Gateway has a character precedent of simple or more modern forms of traditional Connecticut buildings.



East Gateway Design Village District character example



East Gateway Design Village District character example



East Gateway Design Village District character example

Figure 9 - East Gateway Character Examples from Form Based Code

The proposed development should enhancive and facilitate the future development of land in the vicinity. The height of walls as noted above are substantial, and may have a negative impact on the area. However this, and other properties in the vicinity. likely would not be able to be developed without the substantial use of retaining walls and regrading.

#### **Suitable Transportation Conditions**

- a. The design, location, and specific details of the proposed use or activity shall not:
  - i. Adversely affect safety in the streets;
  - ii. Unreasonably increase traffic congestion in the area;
  - iii. Interfere with the pattern of vehicular circulation in such a manner as to create or increase unsafe traffic conditions.

#### b. Parking area or areas shall:

- i. Be of adequate size for the particular use;
- ii. Be suitably screened from adjoining residential uses; and
- iii. Have entrance and exit drives laid out so as to prevent traffic hazards and nuisances.
- c. Streets and other rights-of-way shall be of such size, condition capacity, width, grade, alignment and visibility to adequately accommodate the additional traffic to be generated by the particular proposed use.

Traffic comments have been raised by staff in Appendix A applicable to this criteria, and also in the POCD references above.

# Adequate Public Utilities and Services

See staff comments.

#### Nuisance Avoidance

The use shall be appropriate for the area shall not create a nuisance, and shall not hinder the public health, safety, convenience, and property values.

#### Long Term Viability

Adequate provision shall be made for the sustained maintenance of the proposed development including structures, streets, and other improvements.

#### **Exhibit List for:**

**File 475; Apln 2000;** 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; and Site Plan Application, Section 9.1.A.; request to construct a 8,384 sq. ft. gas station/convenience store with drive-thru and 20,865 sq. ft. electronic vehicle showroom with 68 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner

#### List as of September 29, 2020

#### **Drawings:**

- 1. Cover Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised 9/4/20*
- 2. Property Survey 1 of 2; 9-15 Albany Turnpike; Prepared by Accurate Land Surveying, LLC; Prepared for 9-15 Albany Turnpike, LLC; dated 12/10/19
- 3. Property Survey 2 of 2; 9-15 Albany Turnpike; Prepared by Accurate Land Surveying, LLC; Prepared for 9-15 Albany Turnpike, LLC; dated 12/10/19
- 4. 2.10; Overall Site Layout Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised 9/4/20*
- 5. 2.11; Site Layout Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised* 9/4/20
- 6. 2.21; Grading & Drainage Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised* 9/4/20
- 7. 2.31; Soil Erosion & Sediment Control Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised* 9/4/20
- 8. 2.41; Soil Erosion & Sediment Control Plan Notes; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 9. 2.51; Site Utility Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised* 9/4/20
- 10. 2.61; Landscape Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 11. 2.62; Landscape Details Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 12. 2.71; Lighting Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 13. 2.72; Lighting Details Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 14. 3.01; Detail Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised* 9/4/20
- 15. 3.02; Detail Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20

- 16. 3.03; Detail Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised* 9/4/20
- 17. 3.04; Detail Sheet; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 18. 4.11; Preliminary Offsite Improvement Plan; 9-15 Albany Turnpike; Prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised 9/4/20*
- 19. Car Sales and Maintenance Building: Main Level Floor Plan; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 20. Car Sales and Maintenance Building: Lower Level Floor Plan; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 21. Exterior Elevations I; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 22. CP1.1; Conceptual Plan; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 23. CP1.2; Conceptual Elevations; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 24. CP1.3; Conceptual Elevations: Colored; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20
- 25. CP1.4; Fuel Dispenser Canopy Plan & Elevations; 9-15 Albany Turnpike; Prepared by Millennium Design Associates, Inc.; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20

#### Correspondence:

- 1. Town of Canton Zoning Development Application: File 475; Apln 2000; 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.7.C.3., retaining wall by special permit; and Site Plan Application, Section 9.1.A.; request to construct a 8,384 sq. ft. gas station/convenience store with drive-thru and 20,865 sq. ft. electronic vehicle showroom with 68 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner
- 1a. Town of Canton Zoning Development Application: File 475; Apln 2000; 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; and Site Plan Application, Section 9.1.A.; request to construct a 8,384 sq. ft. gas station/convenience store with drive-thru and 20,865 sq. ft. electronic vehicle showroom with 68 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner
- 2. Traffic Impact Study; prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20 (provided under separate cover)

- 3. Engineering Report; prepared by Solli Engineering; Prepared for 9-15 Albany Turnpike, LLC; dated 8/11/20; *revised 9/4/20* (provided under separate cover)
- 4. Site Plan application checklist
- 5. Erosion and Sediment Control checklist
- 6. Special Permit application checklist
- 7. Letter from Lawrence LePere of Solli Engineering to Neil Pade regarding proposed zoning map amendment; dated 8/12/20
- 8. Email from Collene Byrne of Solli Engineering to Fire Marshal Tim Tharau regarding application submittal; dated 8/12/20
- 9. Email from Collene Byrne of Solli Engineering to Police Chief Arciero regarding application submittal: dated 8/12/20
- 10. Abutter list
- 11. Letter from Sarah Ridyard of CT Water to Anthony Capuano of Solli Engineering regarding water feasibility; dated 8/5/20
- 12. Email from Anthony Capuano of Solli Engineering to WPCF Superintendent Roger Ignazio regarding Canton's sewer shed; dated 8/3/20
- 13. Letter from Kevin Solli of Solli Engineering to Neil Pade regarding application submittal; dated 8/12/20
- 14. RAB Lighting Cut Sheet for Model: WPLED26N
- 15. Lithonia Lighting Cut Sheet for Model: LDN6
- 16. Emblem/Regalia Emblem Series Specifications
- 17. CREE Lighting Cut Sheet for Model: 304 Series
- 18. CREE Lighting Cut Sheet for Model: OSQ Series
- 19. Project Narrative
- 20. Letter of Transmittal from Solli Engineering; dated 9/1/20
- 21. Email communication between Solli Engineering, Attorney David Markowitz and Renee Deltenre regarding legal notice review; dated 9/1/20
- 22. Legal Notice posted to the Town of Canton Website on 9/1/20
- 23. Email from Renee Deltenre to Town Staff requesting application review; dated 9/3/20
- 24. Email from Roger Ignazio (WPCF) to Renee Deltenre regarding application feedback; dated 9/4/20
- 25. Email from Renee Deltenre to Town Staff requesting review of revised application materials; dated 9/9/20
- 26. Email of concern from Patricia Hamilton to Neil Pade; dated 9/10/20
- 27. Email of concern from Carolyn Woodard to Neil Pade; dated 9/10/20
- 28. Email of concern from Tim Kendzia to Neil Pade; dated 9/10/20
- 29. September 16, 2020 Canton PZC Agenda
- 30. Notice of Public Hearing Postponement; dated 9/15/20
- 31. Email from Glenn Cusano (DPW) to Renee Deltenre regarding application feedback; dated 9/14/20
- 32. Letter from CT Water to Neil Pade regarding application review; dated 9/15/20
- 33. Email from Chief of Police Chris Arciero to Renee Deltenre regarding application feedback; dated 9/29/20
- 34. Memorandum from Neil Pade to Planning and Zoning Commission, Staff Report; dated 9/29/20



#### **TOWN OF CANTON**

#### LAND USE DEPARTMENT

Four Market Street
P.O. Box 168
Collinsville, Connecticut 06022-0168
860-693-7856

	OFFICE USE O	NLY	
APPLICATION #	FILE #	FEE AMOUNT:	
DATE SUBMITTE	ED:	PAID Y / N	
	APPROVED Y	/ N	
Zoning Official		Date:	
ZON	ING DEVELOPMENT	APPLICATION	-
Project Location: 9-15 Albany T	urnpike, Canton & Sim	sbury	
		15 Zone: B Lot Size: 26acres (5.822	? in Canto
Land Record Reference to Deed I			
PROPERTY OWNER: 9-15 Albar	ny Turnpike, LLC	PHONE: 860-491-1404 x102	
•		PHONE: 860-491-1404 x102	
Mailing Address: 184 Fern Aver			
Email Address: <u>Mark@markgr</u>	eenbergrealestate.com	1	
Present Use			
	of the site. Lot 15 is in	nproved with a single-family house all other	
lots are undeveloped.			
<u>Proposal</u>			
Briefly describe the proposalS proposed development.	see the included Projec	t Narrative for a detailed description of the	
In this property leasted within	a Canton Villaga Dist	migt2 VEC/NO	
Is this property located within	a canton village Dist	rict? YES NO	

#### If yes, please circle the appropriate district below:

- a) East Gateway Design Village District
- b) Canton Village Design Village District
- c) Hart's Corner Design Village District
- d) Collinsville Design Village District

	Type of A	Application and Required Fee	Amount
	Type 1 FBC Application	\$50	
	Type 2 FBC Application		
	<ul> <li>Detailed Site Plan – Non-Residential</li> </ul>	\$200 up to 2,000 sq. ft. and \$30 for each additional 1,000 sq. ft. of floor area	
	<ul> <li>Detailed Site Plan –</li> <li>Residential</li> </ul>	\$200 up to four (4) dwellings; \$30 each additional dwelling over four units	
	<ul> <li>Modification of previously approved plans and not considered new construction or expansion</li> </ul>	Fee equal to 50% of the original filing fee	
$\square$	Detailed Site Plan – Non-Residential	\$200 up to 2,000 sq. ft. and \$30 for each additional 1,000 sq. ft. of floor area	<u>\$716.69</u>
	Detailed Site Plan – Residential	\$200 up to four (4) dwellings; \$30 each additional dwelling over four units	
	Modification of previously approved plans and not considered new construction or expansion	Fee equal to 50% of the original filing fee	
✓	Special Permit	\$200 for first, and \$75 for each additional Special Permit	\$800.00
✓	Excavation and Grading Permit	\$200 plus \$75 per acre of disturbed area or portion thereof	\$500.00
<b>✓</b>	Soil and Erosion Control Plan Certification	All applications requiring a soil and erosion control plan certification may require an additional fee required by and paid to the North Central Soil Conservation District	<u>TBD</u>
<u>√</u>	All applications require an add	itional \$60 State Fee	\$60.00
	Additional Fees	The Commission may require additional fees in accordance with Town Ordinance Chapter #248	

#### **TOTAL FEE** \$2076.69

Cite the Section(s) and written description of the Zoning Regulations under which you are applying (only those items specifically identified on this application will be included in the public notice and application proceedings):

Section #	4.1.C.10.(e.)	Regulatory Language:	Gasoline Filling Stations Use in Business Zone
Section #	4.1.C.3.(a.)	Regulatory Language:	Drive-Thru Uses in Business Zone
Section #	4.1.C.10.(a.)	Regulatory Language:	Automotive New Car Dealer in Business Zone
Section #	4.1.C.1.(a.)	Regulatory Language:	Retail Use > 2,500 SF in Business Zone
Section #	4.1.C.2.(b.)	Regulatory Language:	Outdoor Dining Use in Business Zone
Section #	7.7.C.(3.)	Regulatory Language:	Retaining Wall/Fence Height & Proximity to Lot Line
Section #	7.3.F.8.(a.)	Regulatory Language:	Signs: Number of, Tenant Count, Size and Illumination
Section #	7.5.D.3	Regulatory Language:	Earthwork and grading > 2,000 cubic yards
Section #	7.10.B.2	Regulatory Language:	Outdoor display/storage
Section #	4.1.B.3	Regulatory Language:	Restaurant, Class I & II
		<del></del>	<i>)</i>

2

	Design Village Distri	cts Application Data	
Existing Square Footage		Proposed Square Footage	
Existing Parking Spaces		Proposed Parking Space	
Existing Stories		Proposed Stories	
Existing Height		Proposed Height	
Percentage of Building Area	a Expansion		
Percentage of Building Faça	ade Expansion		
Percentage of Parking Area	Expansion		
Percentage of Cumulative F	Building Area Expansion		
Percentage of Cumulative F	Building Façade Expansion		
Percentage of Cumulative F	arking Area Expansion		
If yes, please explain: Building Materials			
<b>G</b>	als that will be utilized (i.e., p	nimany agandany noof atm	oot walla ota)
•	mns /Aluminum Clad/Stee	•	•
			vaneer, Aluminum Storefron
	Structural Steel/Metal & G.		
Avon Barkhamsted Burlington The required "CHECKLIST"	ithin 500 feet of an adjoining  has been completed by the a	Granby New Hartfor Simsbury applicant and attached? <i>(Zoni</i>	rd
Yes	requirea cnecкiist snall render the zoning а:	рриссилоп іпсотрієте ј	

#### This application will be considered incomplete if any required information is not submitted.

If a development application involves a Zoning Regulation or Map Amendment the applicant shall submit a Town of Canton Zone Change Application. The applicant shall file a copy of any proposed **regulation amendment or zone change** with the Town Clerk ten (10) days prior to the hearing per Sections 8-3(a) of the Connecticut General Statutes. Certification by the Town Clerk of the filing under these sections must be presented by the Applicant at the public hearing.

By submitting this application, I hereby verify that all materials contained herein are true and grant permission to Town employees and Commission members to enter and view the subject site.

As the applicant/owner, I hereby give Town employees and Commission members' permission to enter and walk the property, which is the subject of this application, during daylight hours during the pendency of this application.

#### BEFORE SIGNING, OWNERS AND APPLICANTS PLEASE NOTE:

By signing this application, the signer represents as to the owner or applicant, whichever applies, either:

(i) If an individual, that the signer is that individual; or

(ii) If an entity (e.g. corporation, LLC, partnership, trust, association) that he or she is legally authorized to sign on behalf of that entity.

Owner Name (please print)

Owner Signature

Date

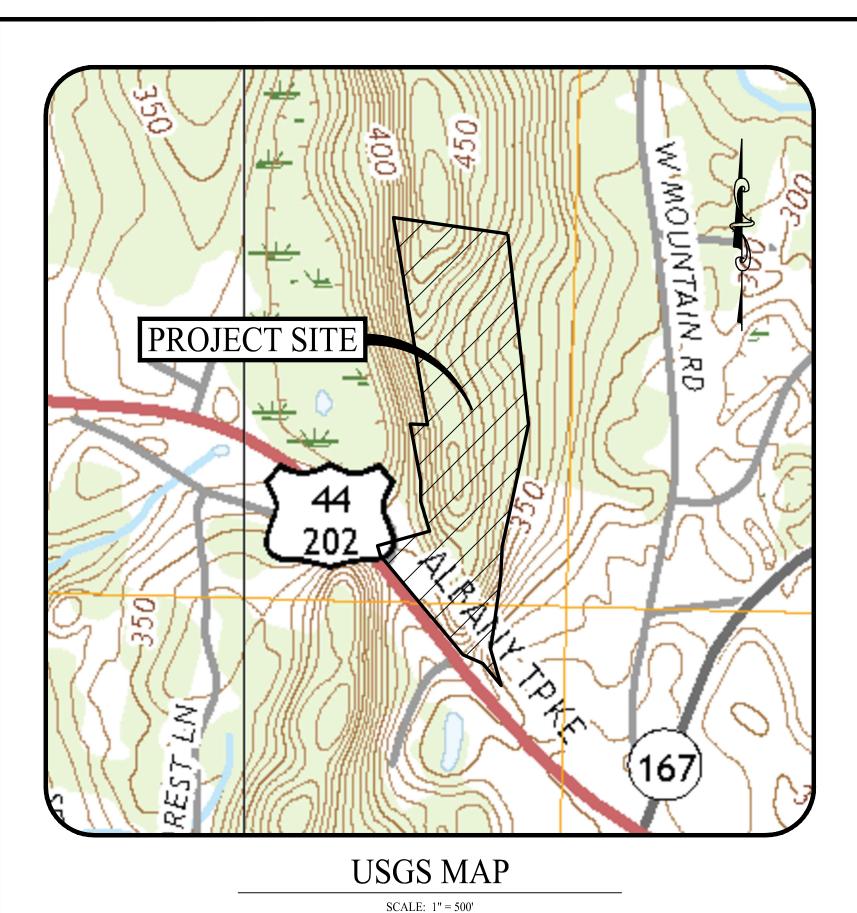
8 3 20

Applicant Name (please print)

Applicant Signature

Date

8 3 20



## 9-15 ALBANY TURNPIKE

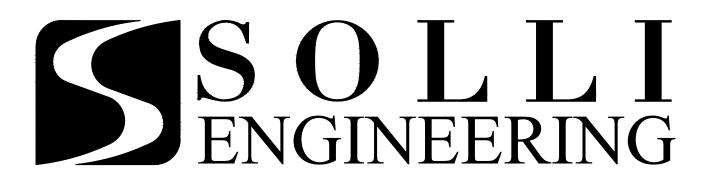
CANTON & SIMSBURY, CONNECTICUT

#### PREPARED FOR:

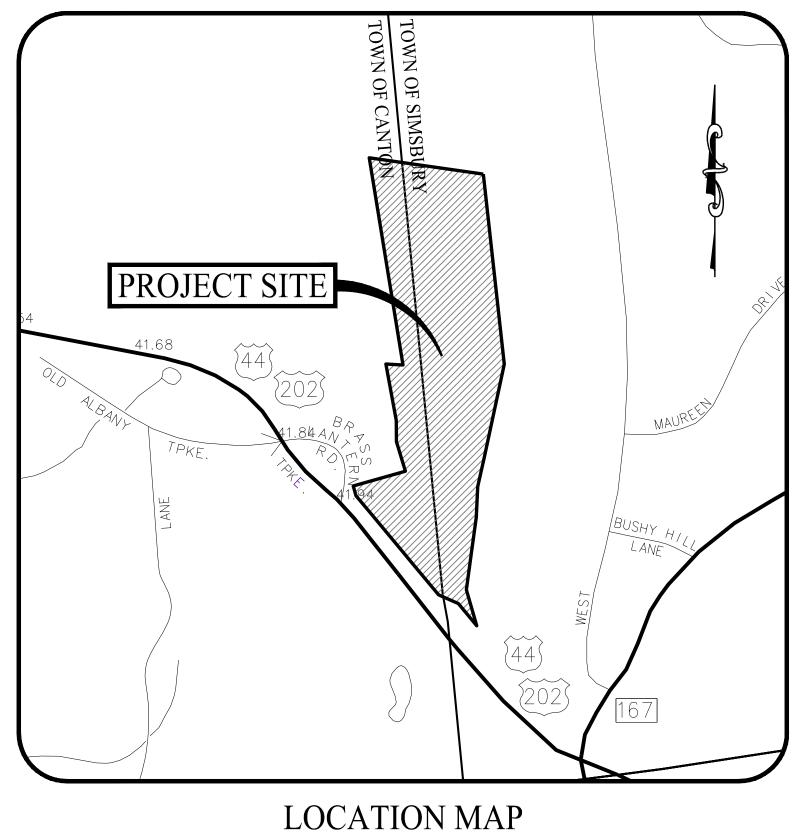
#### 9-15 ALBANY TURNPIKE, LLC

184 FERN AVENUE LITCHFIELD, CONNECTICUT 06759

#### PREPARED BY:



501 MAIN STREET, MONROE, CONNECTICUT 06468



SCALE: 1" = 500'

#### ARCHITECT (GAS STATION)

JOSEPH DELUCA MDA ARCHITECTURE 1599 WASHINGTON STREET BRAINTREE, MA 02184

#### ARCHITECT (ELECTRIC VEHICLE SHOWROOM)

MATT WITTMER PHASE ZERO DESIGN (203) 878-1326

#### PROPERTY INFORMATION

ADDRESS: 9-15 ALBANY TURNPIKE, CANTON, CT 06022 MAP-BLOCK-LOT: 32/101/0009 & 36/101/0015 ADDRESS: 9-15 ALBANY TURNPIKE, SIMSBURY, CT 06070

#### OWNER / APPLICANT

MAP-BLOCK-LOT: A20-503-002-A

9-15 ALBANY TURNPIKE, LLC 184 FERN AVENUE LITCHFIELD, CONNECTICUT 06759

#### SITE/CIVIL ENGINEER

KEVIN SOLLI, P.E., CPESC, LEED AP BD+C LICENSE NO. 25759 SOLLI ENGINEERING, LLC **501 MAIN STREET** MONROE, CONNECTICUT 06468 (203) 880-5455

#### SURVEYOR OF RECORD

BRYAN NESTERIAK, PE, LS LICENSE NO. 23556 ACCURATE LAND SURVEYING 15 RESEARCH DRIVE, SUITE 3 SEYMOUR, CONNECTICUT 06525 (203) 881-8145

#### LANDSCAPE ARCHITECT

MARY BLACKBURN, PLA LICENSE NO. 1499 SOLLI ENGINEERING, LLC 501 MAIN STREET MONROE, CONNECTICUT 06468

3	10/16/20	Revised Per Staff Comments - Canto
2	09/24/20	Site Mod Simsbury Submission
1	09/04/20	Revised Materials - Canton
Rev. #:	Date	Description

#### 9-15 ALBANY TURNPIKE

CANTON & SIMSBURY, CONNECTICUT

Sheet Title: COVER

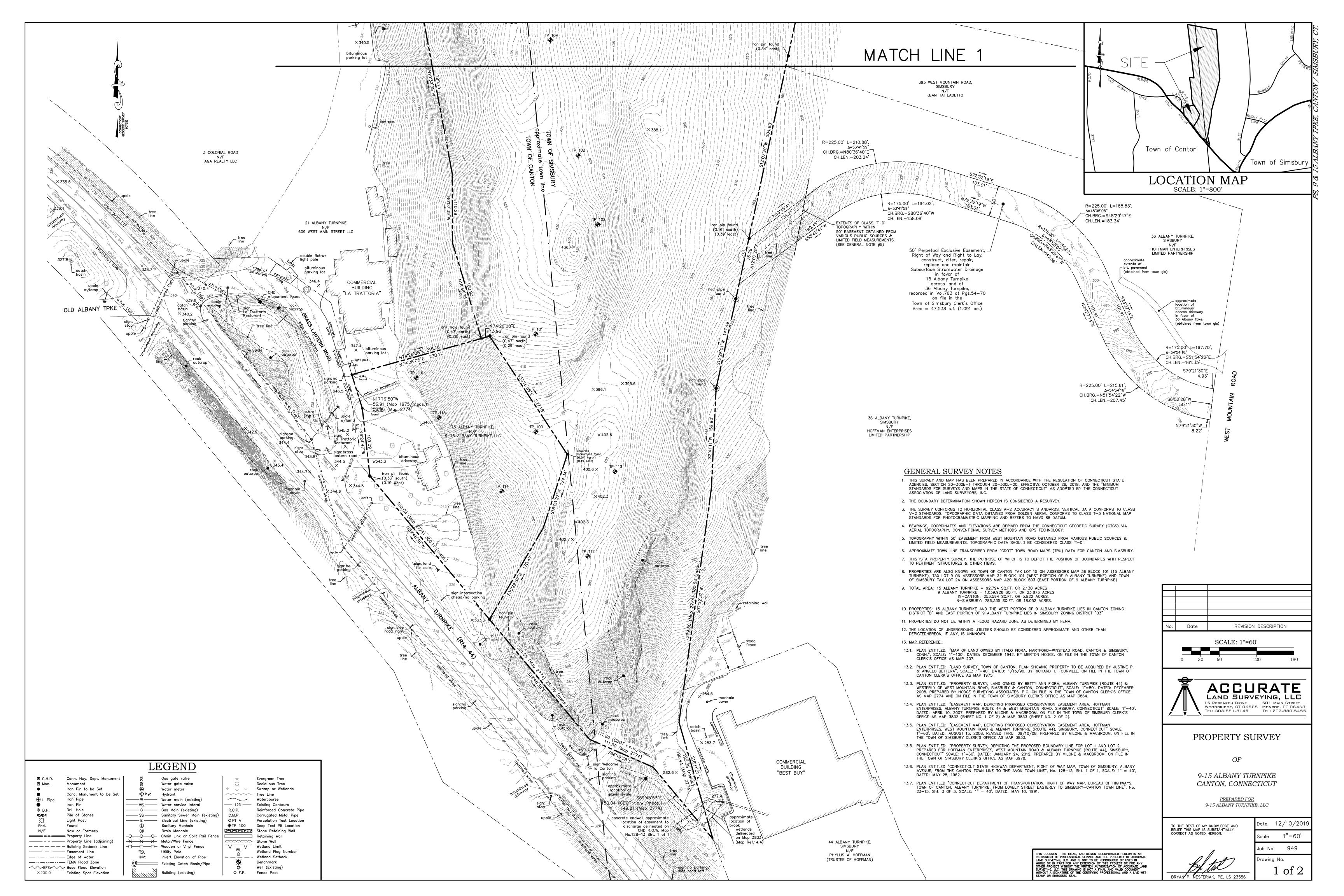
SHEET

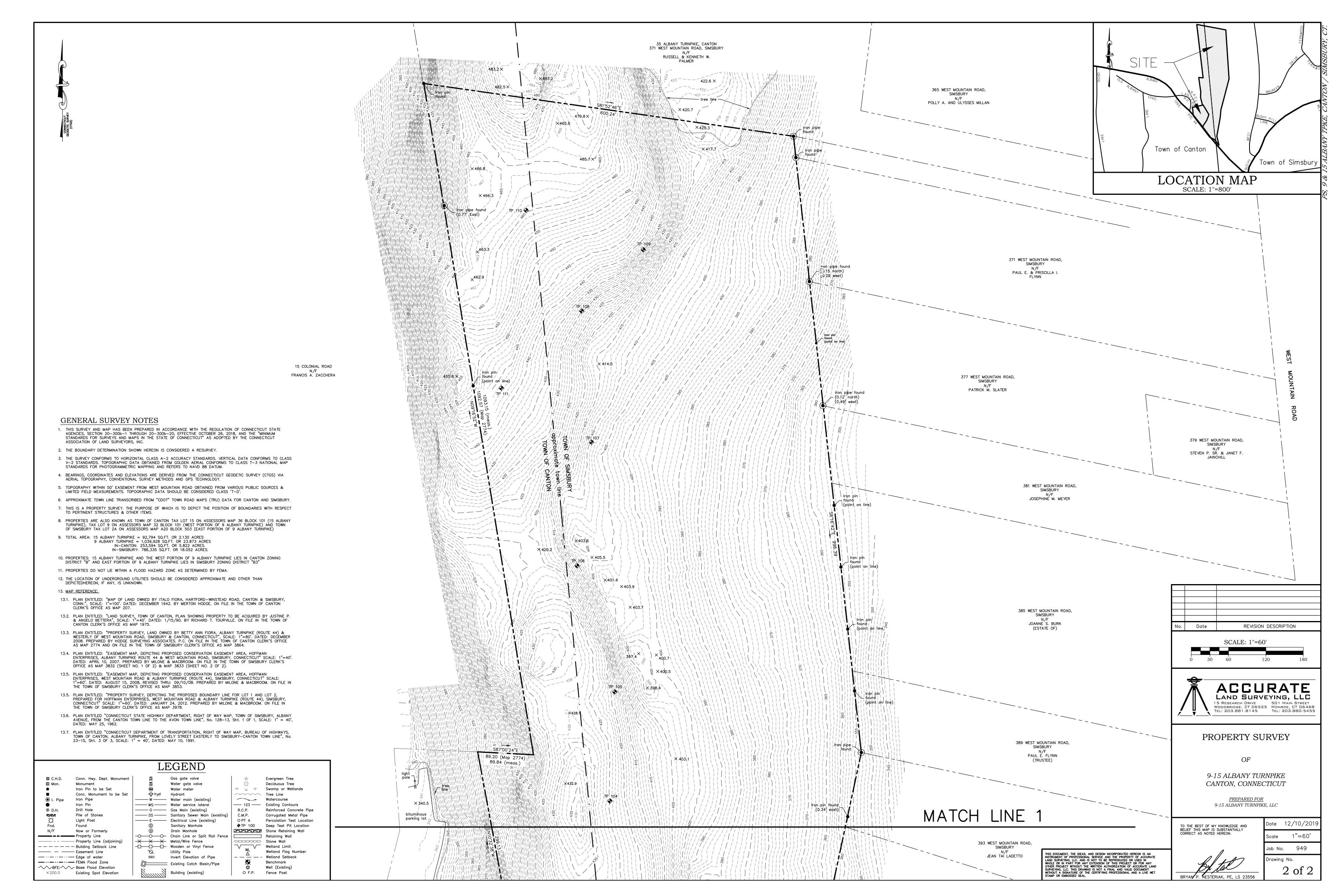
0.00

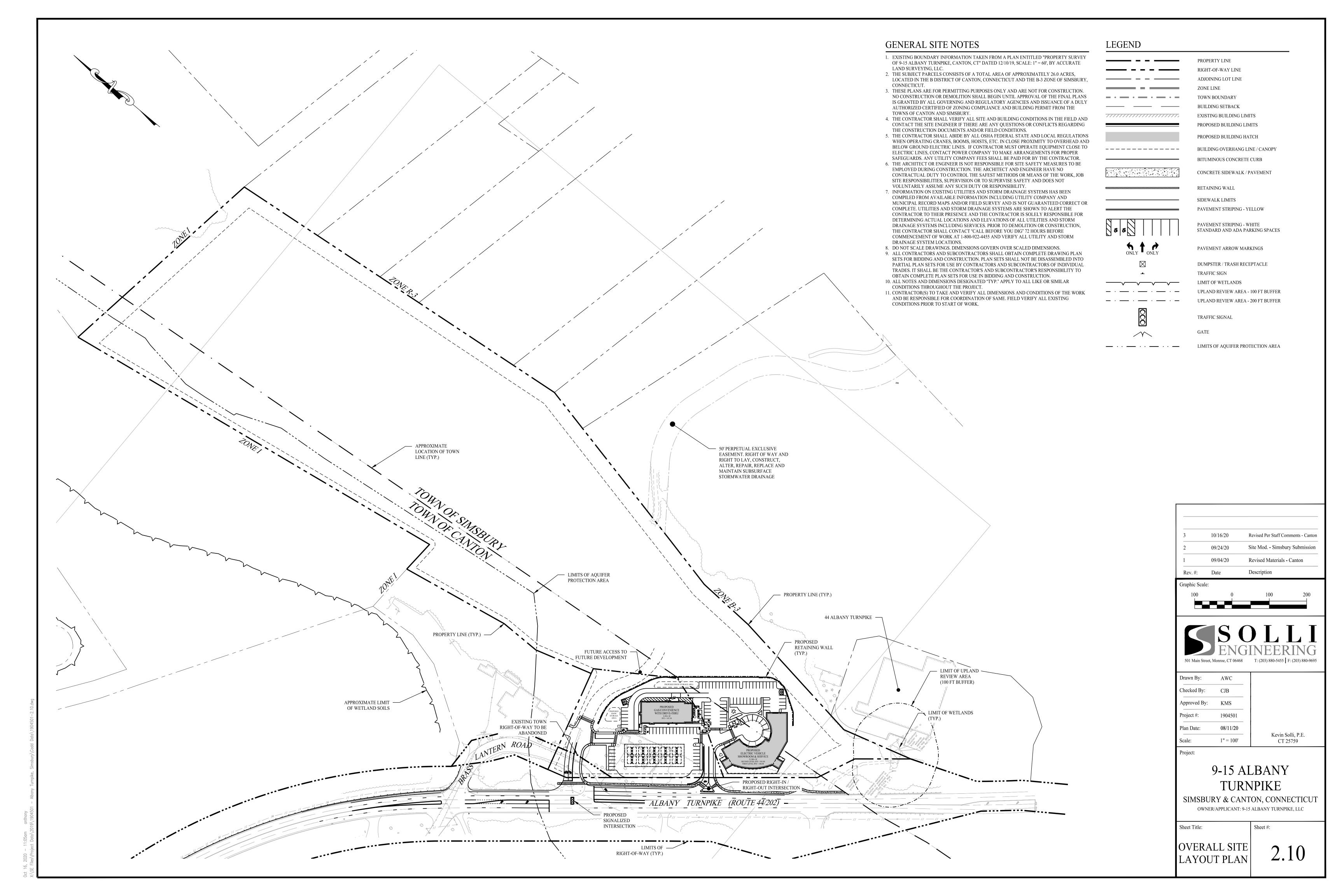
#### DRAWING LIST SITE CIVIL DRAWINGS

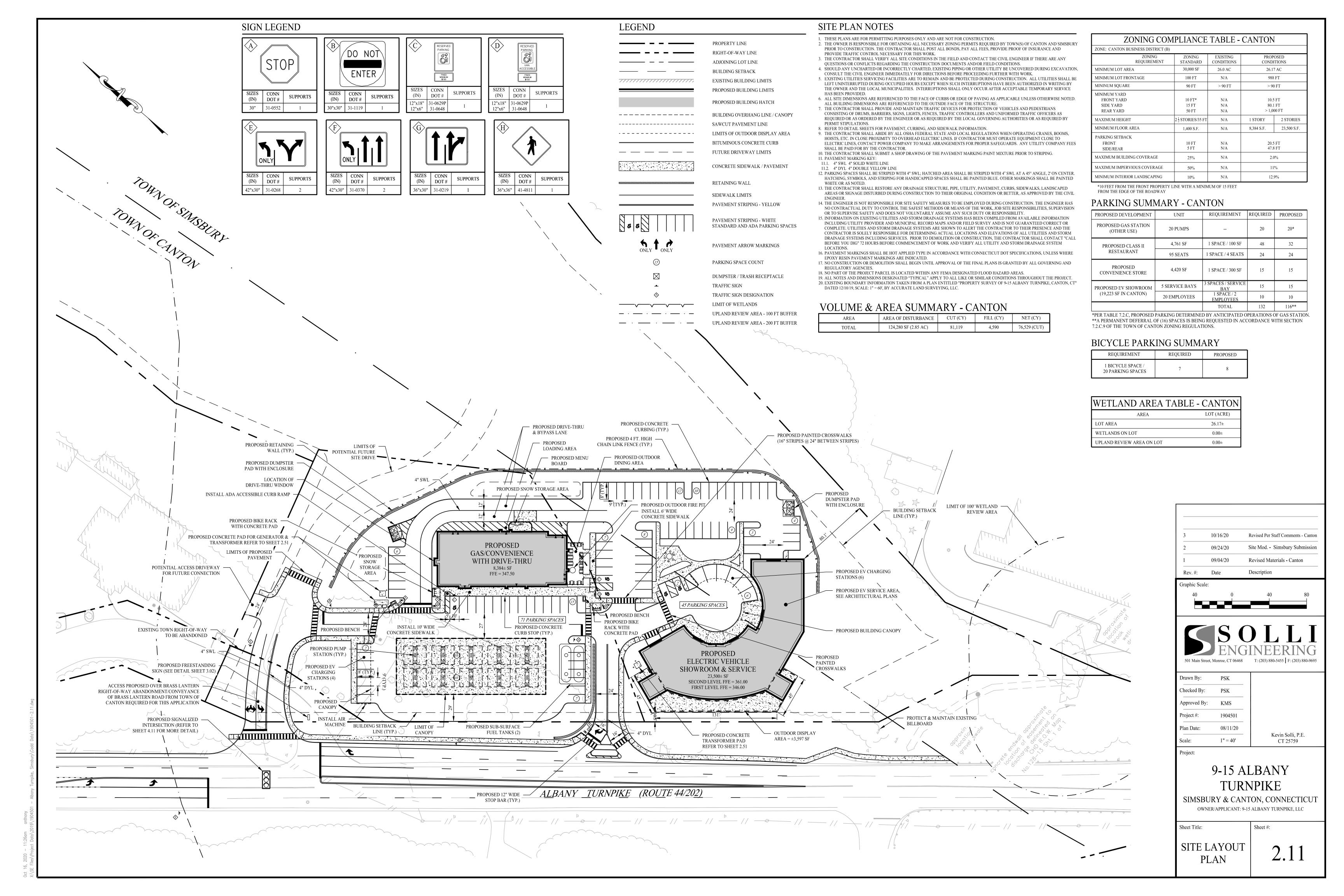
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	08/11/20	10/16/20
1 of 1	PROPERTY SURVEY (1 OF 2)	12/10/19	N/A
2 of 2	PROPERTY SURVEY (2 OF 2)	12/10/19	N/A
2.10	OVERALL SITE LAYOUT PLAN	08/11/20	10/16/20
2.11	SITE LAYOUT PLAN	08/11/20	10/16/20
2.21	GRADING, DRAINAGE & UTILITY PLAN	08/11/20	10/16/20
2.31	SOIL EROSION & SEDIMENT CONTROL PLAN	08/11/20	10/16/20
2.41	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	08/11/20	09/24/20
2.51	SITE UTILITY PLAN	08/11/20	10/16/20
2.61	LANDSCAPE PLAN	08/11/20	10/16/20
2.62	LANDSCAPE DETAILS SHEET	08/11/20	N/A
2.71	LIGHTING PLAN	08/11/20	10/16/20
2.72	LIGHTING DETAILS SHEET	08/11/20	10/16/20
3.01	DETAIL SHEET	08/11/20	10/16/20
3.02	DETAIL SHEET	08/11/20	N/A
3.03	DETAIL SHEET	08/11/20	09/24/20
3.04	DETAIL SHEET	08/11/20	N/A
4.11	PRELIMINARY OFF-SITE IMPROVEMENT PLAN	08/11/20	10/16/20
ARCHITECT	UAL DRAWINGS		

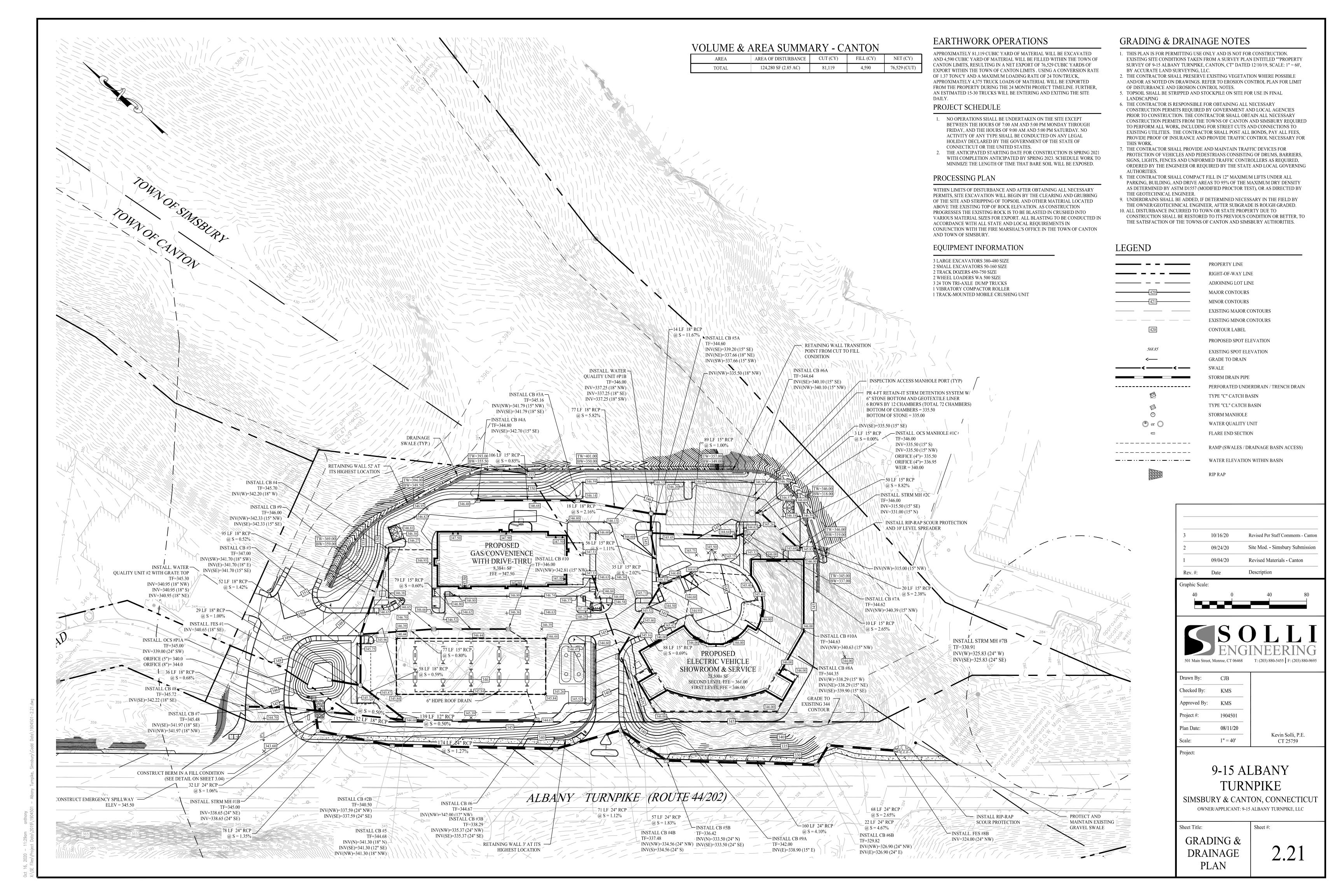
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
CP1.1	GAS STATION/CONVENIENCE - FLOOR PLAN	08/11/20	10/16/20
CP1.2	GAS STATION/CONVENIENCE - EXTERIOR ELEVATIONS	08/11/20	10/16/20
CP1.3	GAS STATION/CONVENIENCE - EXTERIOR ELEVATIONS - COLORED	08/11/20	10/16/20
CP1.4	GAS STATION/CONVENIENCE - FUEL DISPENSER CANOPY PLAN & ELEVATION	IS 08/11/20	N/A
A101	CAR SALES AND MAINTENANCE BUILDING - PROP. FIRST FLOOR PLAN	10/15/20	N/A
A102	CAR SALES AND MAINTENANCE BUILDING - PROP. SECOND FLOOR PLAN	10/15/20	N/A
A103	CAR SALES AND MAINTENANCE BUILDING - PROP. ROOF PLAN	10/15/20	N/A
A201	CAR SALES AND MAINTENANCE BUILDING - FIRST FLOOR LIGHTING PLAN	10/15/20	N/A
A202	CAR SALES AND MAINTENANCE BUILDING - SECOND FLOOR LIGHTING PLAN	10/15/20	N/A
A301	CAR SALES AND MAINTENANCE BUILDING - EXTERIOR ELEVATIONS I	10/15/20	N/A
A302	CAR SALES AND MAINTENANCE BUILDING - EXTERIOR ELEVATIONS II	10/15/20	N/A
A303	CAR SALES AND MAINTENANCE BUILDING - MATERIALS LIST	10/15/20	N/A
A401	CAR SALES AND MAINTENANCE BUILDING - BUILDING SECTIONS	10/16/20	N/A

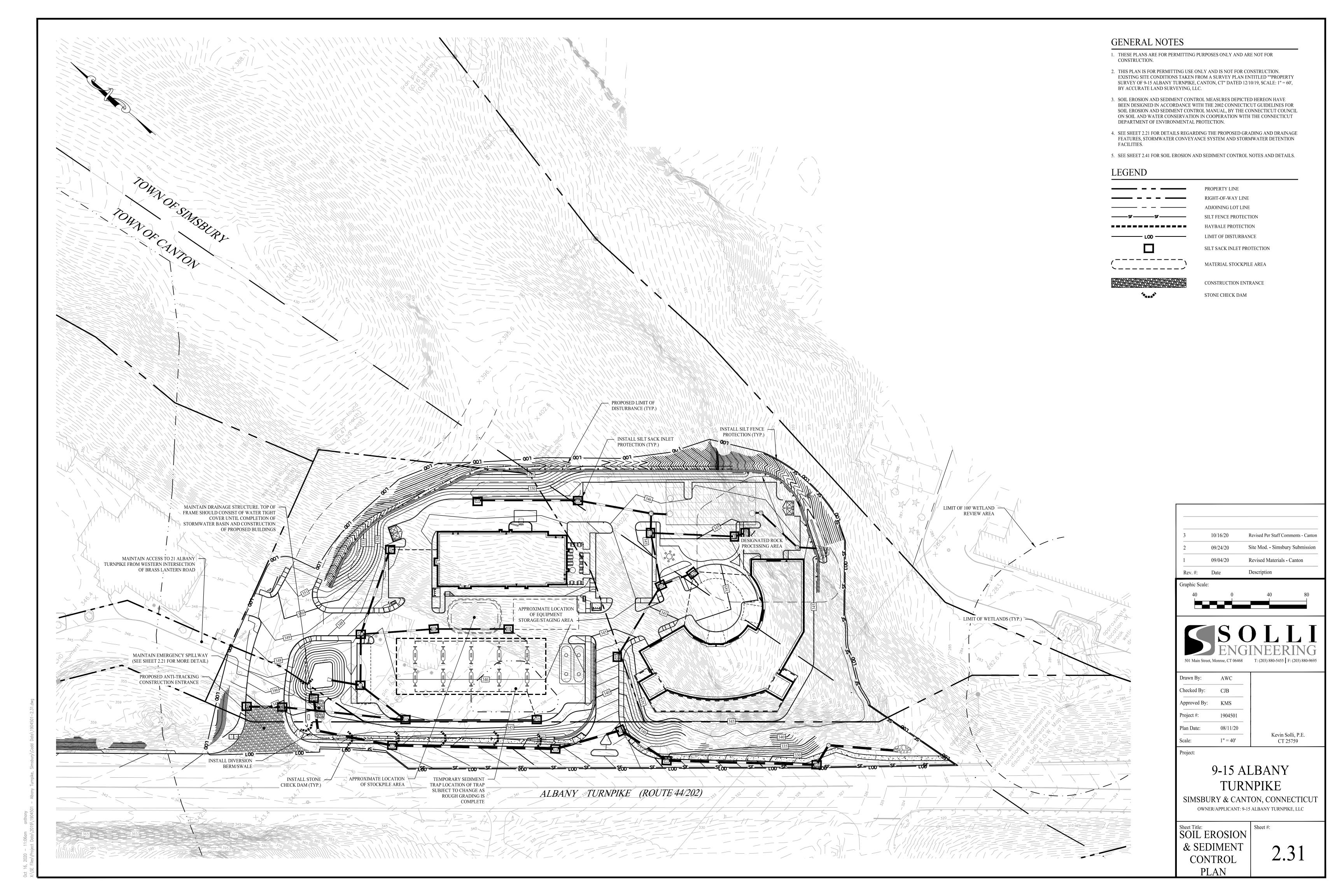












THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SPRING 2022 WITH COMPLETION ANTICIPATED BY FALL 2023 (APPROXIMATELY 18 MONTHS), APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL SITE CLEARING OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE LAND USE AGENTS OF THE TOWN(S) OF CANTON AND SIMSBURY AND PROJECT ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

#### LEARING AND GRUBBING OPERATIONS

- ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF TEMPORARY SEDIMENTATION TRAPS AND STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING OPERATIONS.
- FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL DEVICES. 4. FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH
- TOPSOIL AND SEEDING OR PROCESSED AGGREGATE STONE AS SOON AS PRACTICAL 5. ALL REMOVED INVASIVE PLANT SPECIES MATERIAL SHALL BE FULLY REMOVED FROM THE SITE AND TAKEN TO AN APPROVED AND/OR ACCEPTABLE DISPOSAL LOCATION.
- ROUGH GRADING OPERATIONS 1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE
- STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE. ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.
- FILLING OPERATIONS
- PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN. ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD

OUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN LIFT

- THICKNESS NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS. LIFTS SHALL BE COMPACTED TO 95% MAX DRY DENSITY MODIFIED PROCTOR 3. AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT TRAPS.
- PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND ROADWAY CONSTRUCTION OPERATIONS: SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF TEMPORARY SEDIMENT TRAP SLOPES. MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES MAY BE USED IF SHOWN ON THE EROSION CONTROL PLANS OR IF DIRECTED BY THE PROJECT ENGINEER.
- FINAL GRADING AND PAVING OPERATIONS: ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON EROSION CONTROL
- PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS. JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING
- UNTIL TURF IS ESTABLISHED 3. PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN
- 4. AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN(S) OF CANTON AND SIMSBURY, EASTERN CONNECTICUT SOILS CONSERVATION DISTRICT, TOWN(S) OF CANTON AND SIMSBURY INLAND WETLANDS COMMISSION

#### NSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION. B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET
- INTO THE GROUND C. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER
- D. BACKFILL THE TRENCH AND COMPACT.

#### II. HAY BALES

- A. BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PARALLEL TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.
- B. BALES SHALL BE ENTRENCHED AND BACKFILLED, A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STAKED,

  22. PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT TRAPS DURING CONSTRUCTION
- C. EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES D. THE GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER LEAKAGE.
- F. THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE. TO ENSURE THAT RUN-OFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER, BUT NOT AROUND IT.

#### III. SILT SACK INLET PROTECTION

A. REMOVE CATCH BASIN GRATE AND PROPERLY PLACE THE SILT SACK INTO THE FRAME OF THE CATCH BASIN. B. PLACE GRATE BACK ONTO FRAME AND ENSURE NO PORTIONS OF THE SILT SACK HAVE SAGGED INTO THE C. ONCE GRATE IS PLACED BACK ONTO FRAME OBSERVE TO SEE IF SILT SACK IS INSTALLED IN A MANNER THAT

#### E OF SEDIMENTATION AND EROSION CONTROL MEASURES

WILL ALLOW FOR SEDIMENT TO BE FILTERED OUT DURING STORM EVENTS.

- A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
- B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

#### A. ALL HAY BALE RINGS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY MADE AS NEEDED.

B. DEPOSITS SHALL BE REMOVED AND CLEANED-OUT IF ONE HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENT.

#### A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL

- DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY CT DEEP, LOCAL AUTHORITIES OR ENGINEER
- B. ALL SEDIMENT TRAPS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED. EROSION CONTROL BLANKETS MAY BE USED FOLLOWING REPAIR OF SLOPE AS
- DIRECTED BY THE ENGINEER. C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT TRAPS AND/OR SEDIMENT TRAPS WHEN THEY EXCEED
- A HEIGHT OF ONE FOOT UNLESS OTHERWISE INDICATED ON THE EROSION CONTROL PLANS AND DETAILS TO BE AT A SPECIFIC ELEVATION PER CLEAN OUT MARKERS
- D. SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING
- OFFICIALS. SEE SEDIMENT AND EROSION CONTROL NOTES HEREIN REGARDING DISPOSAL REQUIREMENTS FOR OFF SITE SPOIL DISPOSAL.

#### II. CHECK DAMS:

A. ALL STONE CHECK DAMS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF STONE CHECK DAMS SHALL BE PROMPTLY MADE AND ACCUMULATED SEDIMENT REMOVED WHEN IT REACHES ONE HALF OF THE HEIGHT OF THE CHECK DAM.

#### V. TEMPORARY/PERMANENT DRAINAGE SWALES:

A. SWALES SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF ANY WASHED OUT OR ERODED SLOPES SHALL BE MADE PROMPTLY AND THE AREA SHALL BE RESEEDED AS NECESSARY. B. EROSION CONTROL BLANKETS MAY BE USED TO REPAIR ERODED SWALES AS DIRECTED BY THE ENGINEER OR

#### TOWN(S) OF CANTON AND SIMSBURY AGENT. VI. SILT SACK INLET PROTECTION

- A. ALL SILT SACK INLET PROTECTION DEVICES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATE SILT SACKS AND SACKS THAT APPEAR TO HAVE AN EXCESS OF SEDIMENT
- SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN. B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM THE SILT SACKS WHEN THEY EXCEED A COUPLE INCHES OF SEDIMENT WITHIN THE CATCH BASIN.

INSTALLED AS SHOWN ON THESE PLANS AND AS NECESSARY

- HAY BALE FILTERS OR SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS IF CULVERT OUTLETS ARE APPLICABLE TO THIS PROJECT AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES. 2. CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP CHANNELS; ENERGY DISSIPATERS WILL BE
- 3. CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS, SILT SACKS, SILTATION FENCE, OR OTHER INLET PROTECTION DEVICES PER DETAILS, THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS
- ARE THOROUGHLY STABILIZED 4. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL, LATEST
- 5. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE 6. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION
- 7. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD. IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY LOCAL GOVERNING OFFICIALS.
- 8. SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE EROSION CONTROL PLANS, NOTES, AND DETAILS. 9. THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES. INFORMING ALL

PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.

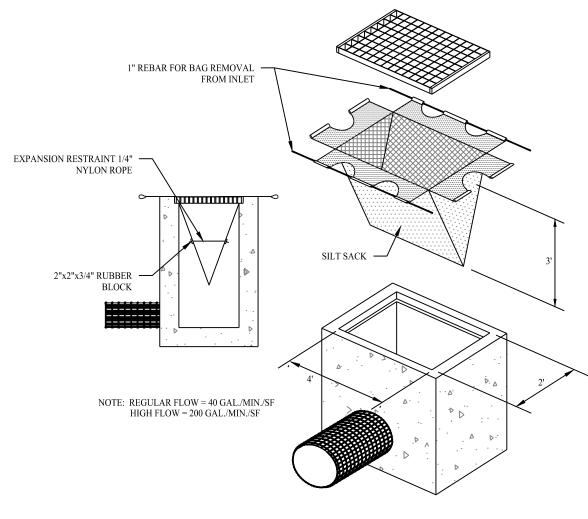
- EDIMENT AND EROSION CONTROL NOTES THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REOUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL
- PLAN IF THE TITLE TO THE LAND IS TRANSFERRED. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE TOWN(S) OF CANTON AND SIMSBURY TO ENSURE IMPLEMENTATION OF THE EROSION CONTROL MEASURES. THE OWNER SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN(S) OF CANTON AND SIMSBURY FOR INFORMATION ON THE METHOD. TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED
- VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.10 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPS ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE: A) A SUMMARY OF THE SITE CONDITIONS E&S RMPS AND COMPLIANCE: AND
- B) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
- 4. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, PREPARED BY CTDEEP, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN(S) OF CANTON AND SIMSBURY. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION
- 5. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, CIVIL ENGINEER TOWN(S) OF CANTON AND SIMSBURY, EASTERN CONNECTICUT SOILS CONSERVATION DISTRICT, TOWN(S) OF CANTON AND SIMSBURY INLAND WETLANDS COMMISSIONS, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.10 INCHES OR GREATER RAINFALL), OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY
- 7. THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, RIP RAP ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS. 8. INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE. SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY
- SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE 9. STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS
- MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED. 10. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF
- PILE IS TO REMAIN IN PLACE FOR MORE THAN 7 DAYS 11. SEDIMENTATION TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.

12. STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY ON SITE

- EXCAVATION AND SHALL BE MAINTAINED DURING ALL EXCAVATION AND CONSTRUCTION ACTIVITIES. MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE
- HYDROSEEDED WITH TACKIFIER. 14. SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CONTRACT DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS
- 15. EXCAVATED MATERIAL FROM TEMPORARY SILT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE. 16. INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENVIROFENCE, AMOCO SILT STOP OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR EQUIVALENT. SEE
- SPECIFICATIONS FOR FURTHER INFORMATION 17. WHERE INDICATED ON EROSION CONTROL PLANS USE NEW HAY BALES AND REPLACE THEM WHENEVER THEIR CONDITION DETERIORATES BEYOND REASONABLE USABILITY. STAKE HAY BALES SECURELY INTO GROUND
- AND BUTT TIGHTLY TOGETHER TO PREVENT UNDERCUTTING AND BYPASSING. 18. INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT TRAPS, AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT TRAPS WILL REQUIRE REVIEW AND APPROVAL
- BY THE CIVIL ENGINEER AND GOVERNING OFFICIAL. 19. DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT TRAPS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM
- DRAINAGE SYSTEM OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR. 20. BLOCK THE OPEN UPSTREAM ENDS OF DETENTION BASIN/SEDIMENTATION BASIN OUTLET CONTROL ORIFICE UNTIL SITE IS STABILIZED. CONVERT TEMPORARY SEDIMENT TRAPS TO PERMANENT DETENTION BASINS ONCE SITE HAS BEEN STABILIZED. CLEAN OUTLET CONTROL STRUCTURES AS NECESSARY AND REMOVE ACCUMULATED SEDIMENT FROM BOTTOM OF BASIN. BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
- 21. SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS. USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS
- AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED O PER SPECIFIC CLEANOUT MARKER ELEVATION. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY AND AS DIRECTED BY THE CIVIL ENGINEER OR OWNER'S CONSTRUCTION REPRESENTATIVE REMOVE ACCUMULATED SEDIMENT FROM BEHIND HAY BALES AND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE HAY BALE OR ONE FOOT AT SILT FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON OR
- 23. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT
- 24. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED
- 25. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO
- AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF. 26. CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY AND STORM PIPE TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED

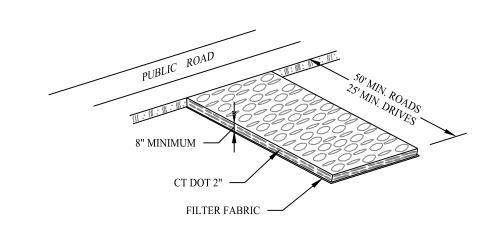
TRENCHING

- 27. ANY STOCKPILES OF STRIPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND-BLOWN MATERIAL. HAUL ROADS BOTH INTO AND AROUND THE SITE ARE TO BE SPRAYED AS NEEDED TO SUPPRESS DUST. TRUCKS HAULING IMPORT FILL MATERIAL ARE TO BE TARPED TO AID IN THE CONTROL OF AIRBORNE DUST. DURING HIGH WIND EVENTS (20 TO 30 MPH SUSTAINED)
- CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING. 28. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO
- RESIST SLIDING OR OTHER MOVEMENTS 29. MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY. FILE NOT
- (NOTICE OF TERMINATION) WITH GOVERNING AUTHORITY RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES 30. SIGNIFICANT FUEL, CHEMICAL, OR OTHER HAZARDOUS MATERIALS STORAGE AND HANDLING, INCLUDING
- FUELING OF CONSTRUCTION VEHICLES, SHOULD BE LOCATED OUTSIDE WELL FIELD AREA AND AQUIFER 1. NO REPAIR OR MAINTENANCE OF CONSTRUCTION VEHICLES OR WASHING OF CONSTRUCTION VEHICLES IS
- PERMITTED WITHIN THE AOUIFER PROTECTION AREA. 32. ANY NECESSARY TEMPORARY STORAGE SHOULD BE ABOVEGROUND, PROTECTED FROM RAINFALL, AND ON AN
- IMPERVIOUS CONTAINMENT SURFACE.
- 33. SITE ACCESS SHOULD BE ADEQUATELY SECURED AT ALL TIMES TO PROHIBIT ANY UNAUTHORIZED DISPOSAL



#### SILT SACK DETAIL

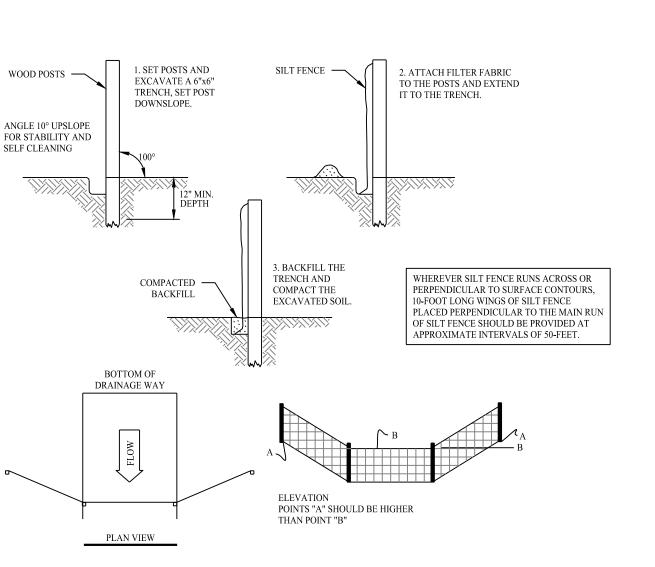
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GRA	ADATION TA	BLE	
	CONN. DOT 2" CRUSHED GRAVEL	ASTM C-33 NO. 2	ASTM C-33 NO. 3
SQUARE MESH SIEVES	% FINER	% FINER	% FINER
2 1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1 1/2 INCHES	35-70	0-15	35-70
1 1/4 INCHES	0-25		
1 INCHES	0-10		0-15
3/4 INCHES		0-5	
1/2 INCHES			0-5
3/8 INCHES			

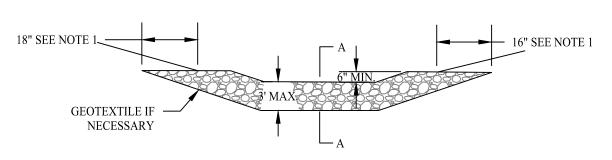
U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE.

#### CONSTRUCTION ENTRANCE



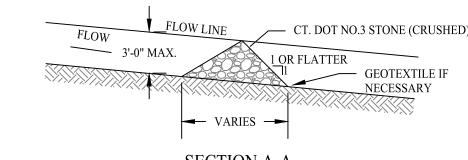
#### SILT FENCE BARRIER DETAIL

SCALE: NTS

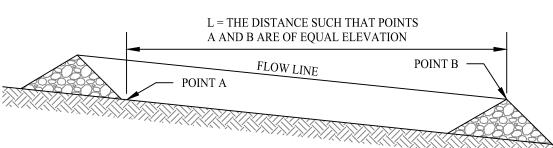


#### VIEW LOOKING UPSTREAM

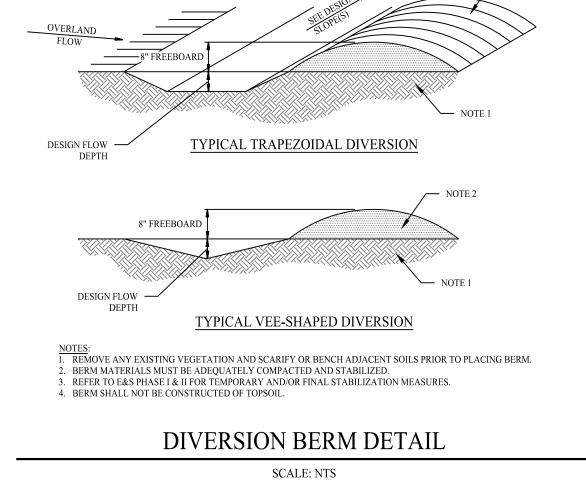
- 1. KEY STONE INTO THE DITCH BANKS AND EXTEND INTO THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW FROM
- FLANKING THE DAM.
- 2. THE MINIMUM DESIGN CAPACITY SHALL CONVEY A 2 YEAR-24 HOUR PEAK FLOW.



#### SECTION A-A



SPACING BETWEEN CHECK DAMS



EXISTING SITE MATERIAL TO B REUSED AND/OR NEW MATERIAL

TO BE INSTALLED IN THE WORK

DIRECTION OF RUN-OFF FLOW

SHOWN ON THE DRAWINGS.

SLOPES MUST BE 2:1 OR FLATTER

ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO

BE REUSED IN THE WORK IS TO BE IMMEDIATELY

2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE

CONDITION AND RESEED AS REQUIRED.

REMOVED FROM THE SITE AND PROPERLY DISPOSED

RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT

4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE

TYPICAL PARABOLIC DIVERSION

Site Mod. - Simsbury Submission

Description

AWC 1904501 08/11/20 Kevin Solli, P.E. NTS CT 25759

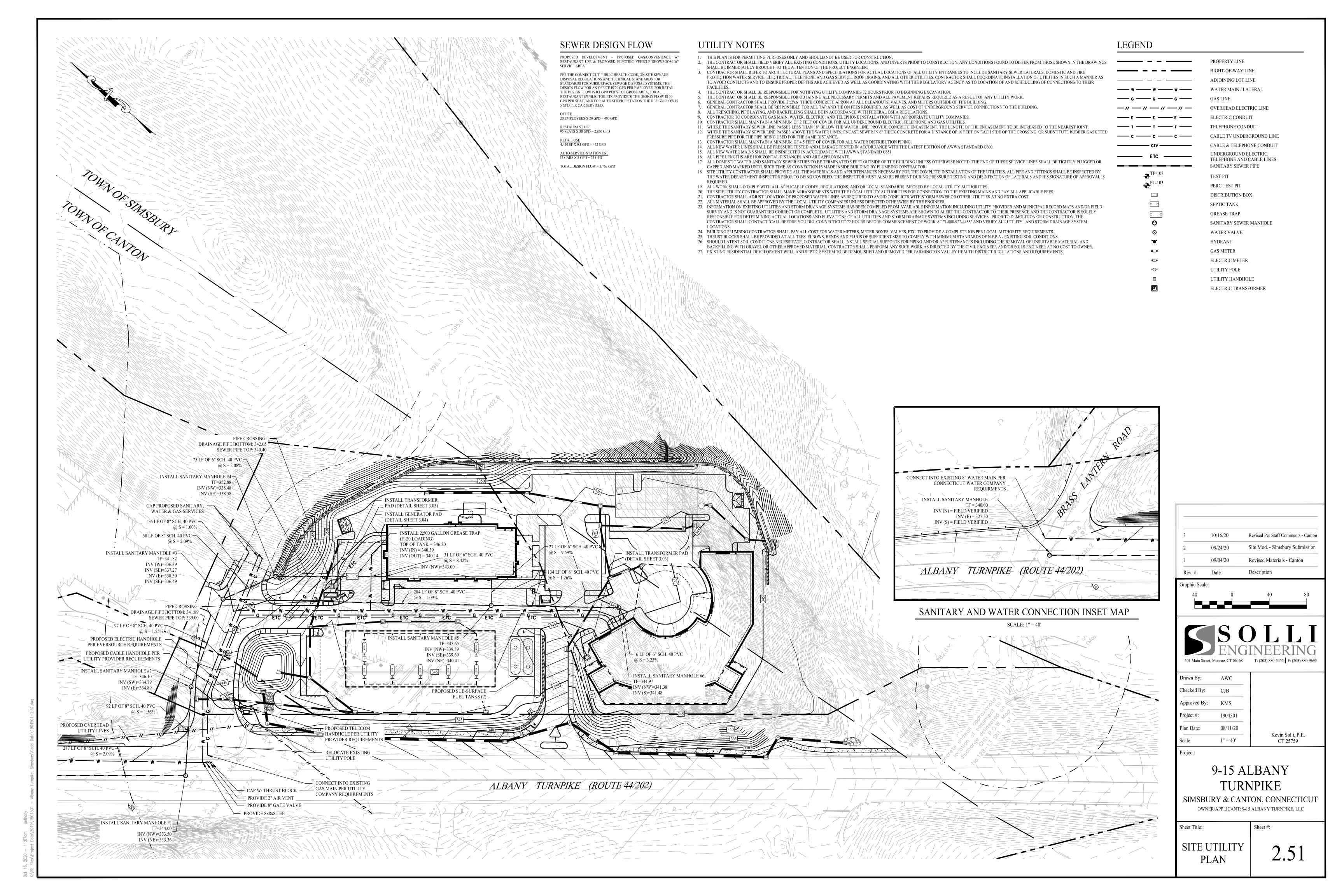
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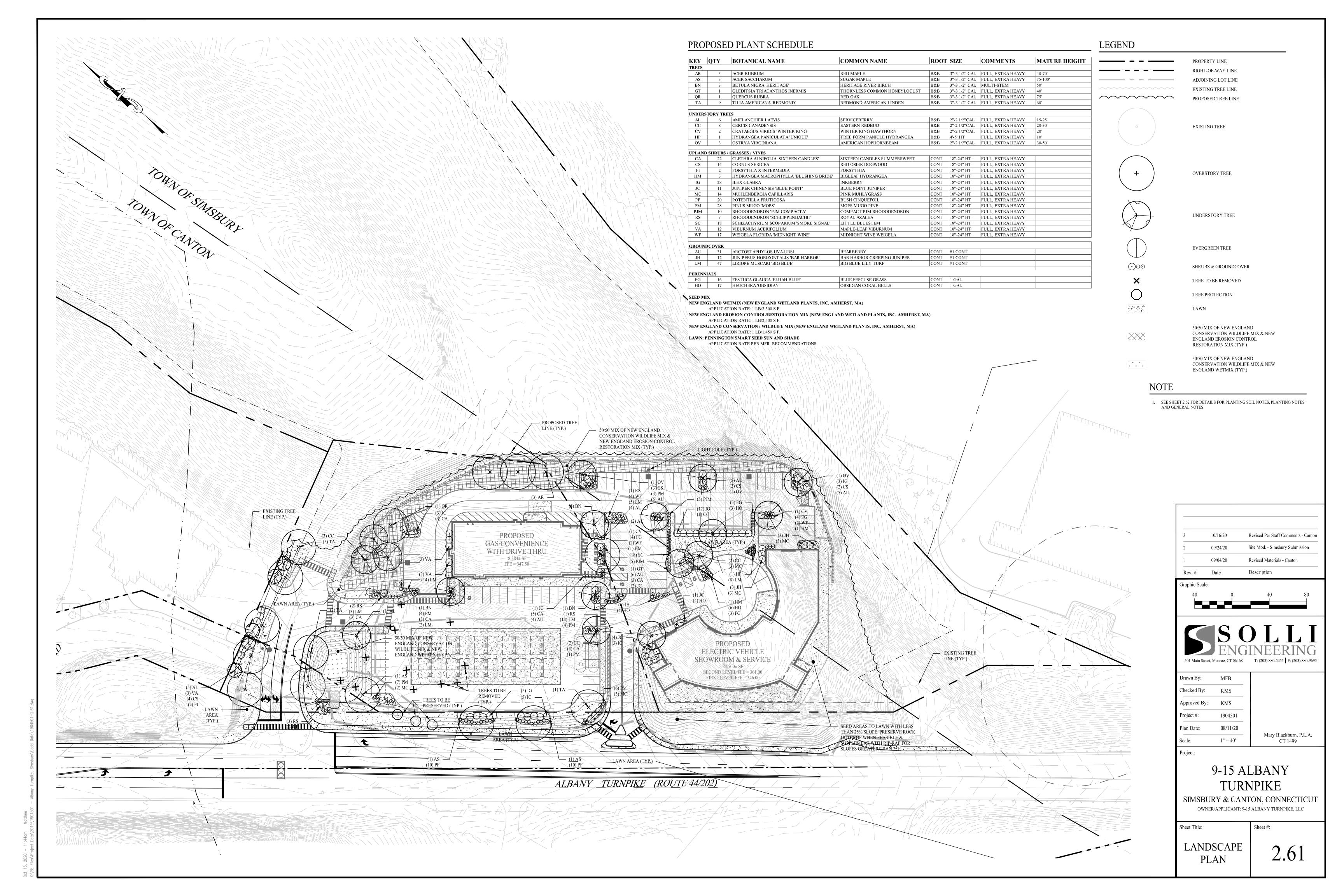
#### 9-15 ALBANY **TURNPIKE**

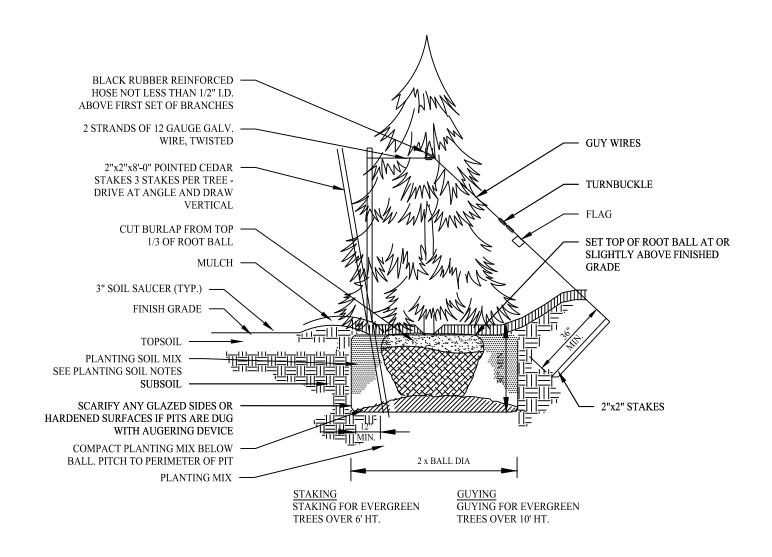
SIMSBURY & CANTON, CONNECTICUT OWNER/APPLICANT: 9-15 ALBANY TURNPIKE, LLC

Sheet Title:
SOIL EROSION &
<b>SEDIMENT</b>
CONTROL DETAILS
AND NOTES

STOCKPILE AREA DETAIL STONE CHECK DAM DETAIL SCALE: NTS







**EVERGREEN TREE PLANTING** 

SCALE: NTS

SET TOP OF ROOT BALL AT OR · SLIGHTLY ABOVE FIN. GRADE 3" SOIL SAUCER (TYP.) CUT BURLAP FROM TOP OF 1/3 OF ROOT BALL PLANTING SOIL MIXTURE SEE PLANTING SOIL NOTES SCARIFY GLAZED SIDES OR · HARDENED SURFACE IF PITS COMPACTED PLANTING ARE DUG WITH AUGERING EQUALS TWICE EQUALS TWICE DEVICES BALLED AND CONTAINER GROWN

1. IN AREAS OF MASS PLANTING, CONTINUOUSLY EXCAVATE AND MULCH ENTIRE BED.

SHRUB / GROUNDCOVER PLANTING

SCALE: NTS

#### PLANTING SOIL NOTES

1. ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE

2. PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS 3 PARTS SCREED TOPSOIL

1 PART CLEAN WASHED COARSE SAND

1 PART PEAT HUMUS

5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX 3. MYCORRHIZAL INNCOULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.

4. TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL

5. SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.

6. TOPSOIL MIX SHALL INCLUDE: 3 PARTS SCREENED TOPSOIL

1 PART SAND 1 PART HUMUS

5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX

A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL. AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEOUS MATTER.

B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD. C. MECHANICAL ANALYSIS

SCREEN SIZE % BY WEIGHT PASSING 97 - 100

D. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL - TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT - NUTRIENT CONTENT OF TOPSOIL.

E. REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY

#### PLANTING NOTES

- I. BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- 2. ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- 3. THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMEN'S COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- 4. CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- 5. CONTRACTOR SHALL BE FAMILIAR WITH THE SITE VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO
- LANDSCAPE DESIGNER. 6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES
- REQUIRED FOR COMPLETING WORK. 7. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED
- SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER. 8. NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL
- BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION. 9. PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE
- SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER. 10. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING

AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL

- 11. CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE
- CONTRACTOR TO REPLACE IN KIND. 12. CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO
- OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL. 13. VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN
- FIELD BY LANDSCAPE DESIGNER. 14. THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO

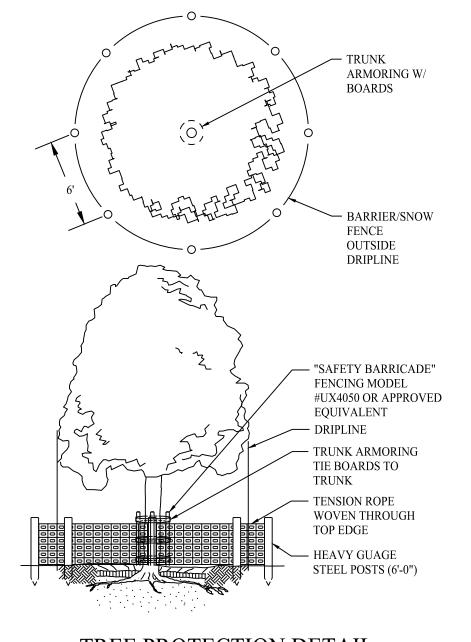
MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 - 2004) OF THE AMERICAN ASSOCIATION OF

NURSERYMEN.

- 15. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- 16. WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- 17. PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON
- 18. PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL
- PRIOR TO DELIVERING TO SITE. 19. MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 3" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL
- 20. ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS. 21. TRANSPLANTED MATERIALS TO BE WATERED, HEELED IN AND TENDED BY
- CONTRACTOR UNTIL FINAL PLACEMENT. 22. TREES LOCATED WITHIN PARKING LOTS SHALL HAVE A CLEAR TRUNK HEIGHT
- OF AT LEAST SIX (6) FEET. 23. ALL TREES SHALL BE STAKED FOR ONE (1) YEAR FROM THE DATE OF INSTALLATION. STAKES SHALL BE REMOVED AT THE COMPLETION OF ONE (1)

#### **GENERAL NOTES**

- 1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION, NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES AND ISSUANCE OF A DULY AUTHORIZED CERTIFIED OF ZONING COMPLIANCE AND BUILDING PERMIT FROM THE TOWNS OF CANTON AND
- 2. EXISTING BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED "PROPERTY SURVEY OF 9-15 ALBANY TURNPIKE, CANTON, CT" DATED 12/10/19, SCALE: 1" = 60', BY ACCURATE LAND SURVEYING,



TREE PROTECTION DETAIL

SCALE: NTS

Site Mod. - Simsbury Submission Rev. #: Date Description Graphic Scale:

MFB Orawn By: Checked By: Approved By: Project #: 1904501 08/11/20 NTS

9-15 ALBANY TURNPIKE

SIMSBURY & CANTON, CONNECTICUT OWNER/APPLICANT: 9-15 ALBANY TURNPIKE, LLC

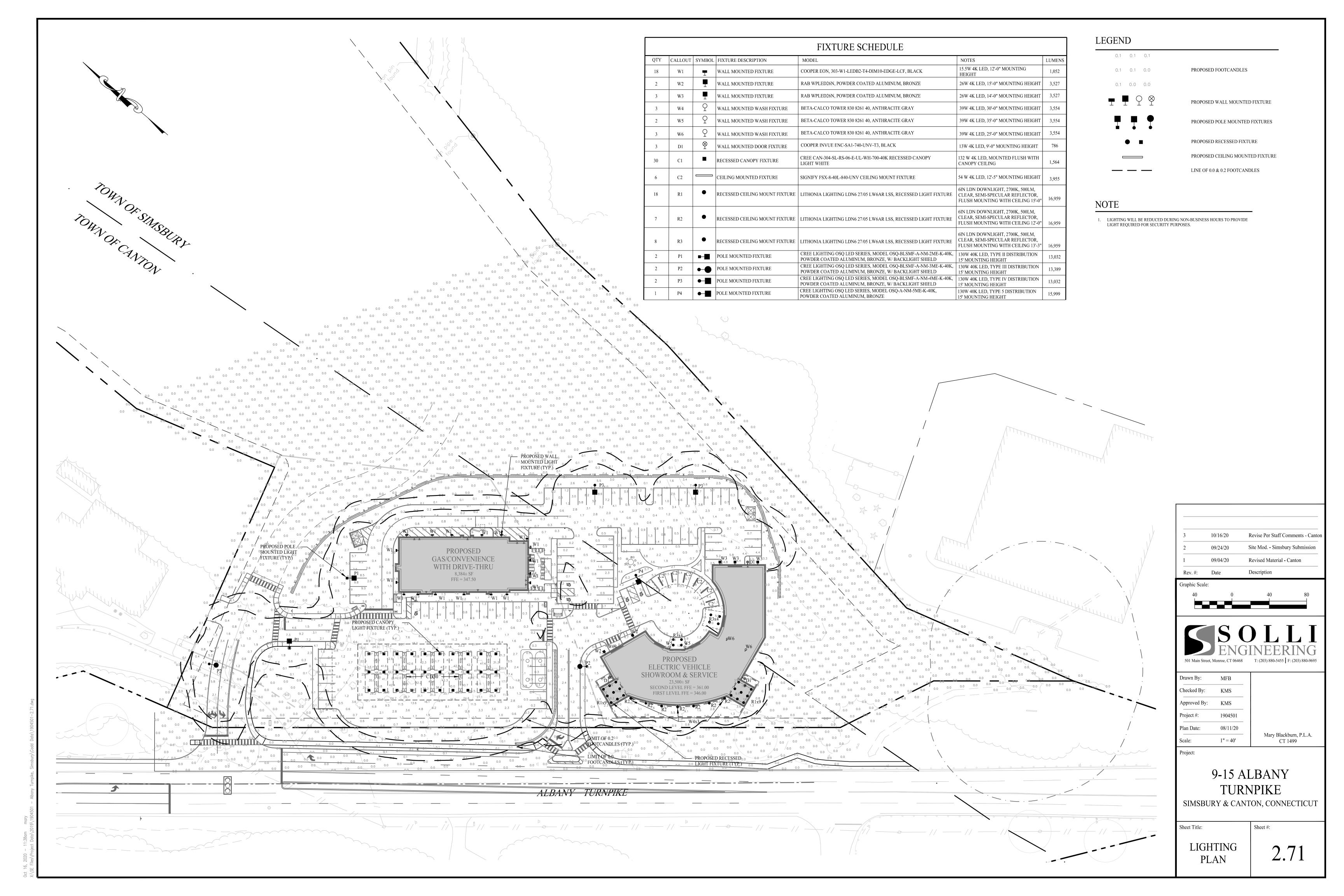
LANDSCAPE **DETAILS** 

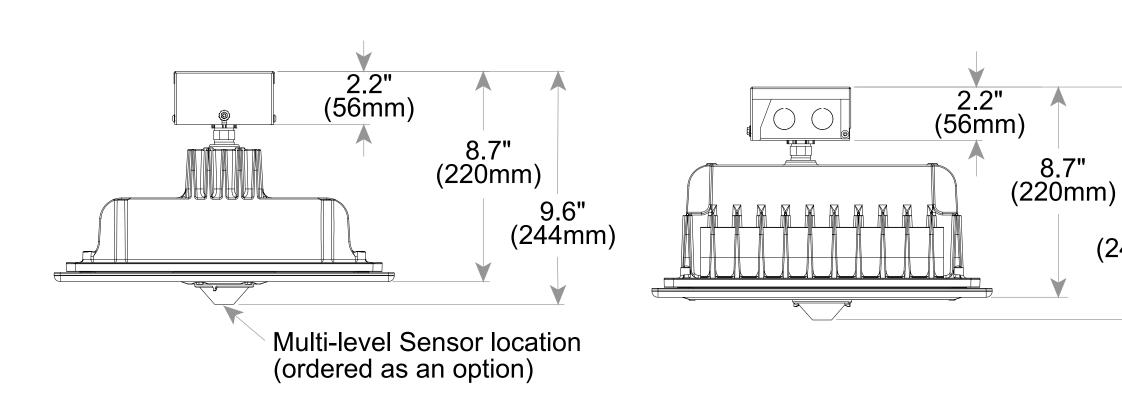
**SHEET** 

2.62

Mary Blackburn, P.L.A.

CT 1499





### MOUNTING HEIGHT AS NOTED ON LIGHTING SCHEDULE

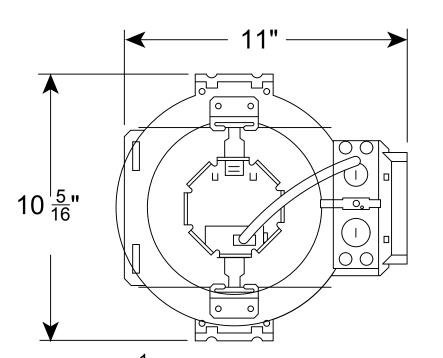
#### PROPOSED WALL MOUNTED LIGHT FIXTURE - W2 &W3

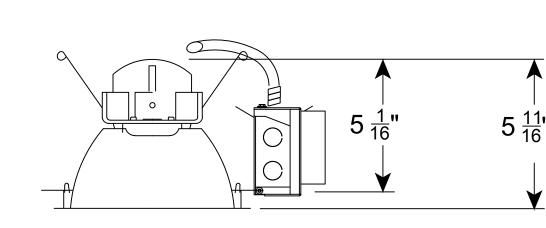
WALL MOUNTED FIXTURE, RAB WPLED26N, POWDER COATED ALUMINUM, BRONZE SCALE: NTS

(244mm)

#### RECESSED CANOPY LIGHT FIXTURE - C1

CREE, POWDER COATED CAST ALUMINUM - MATCH CANOPY CEILING COLOR

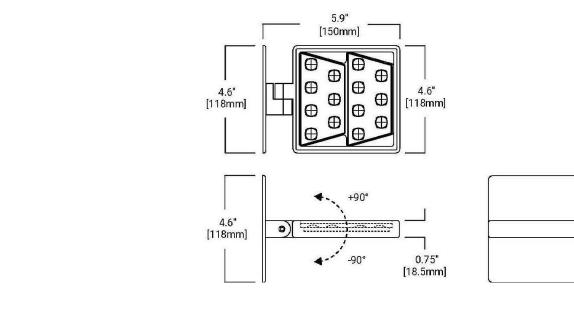




Apiture:  $6\frac{1}{4}$ " Ceiling Opening: 7 ½" Overlap Trim:  $7\frac{1}{2}$ "

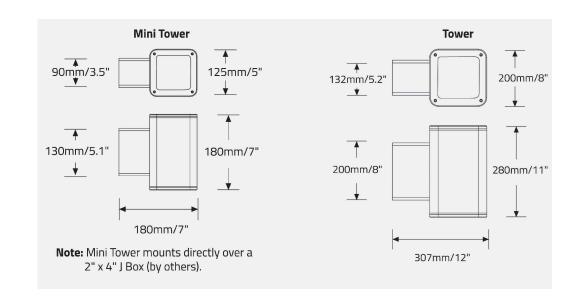
#### RECESSED LIGHT FIXTURE - R1, R2 & R3

SEE FIXTURE SCHEDULE SCALE: NTS



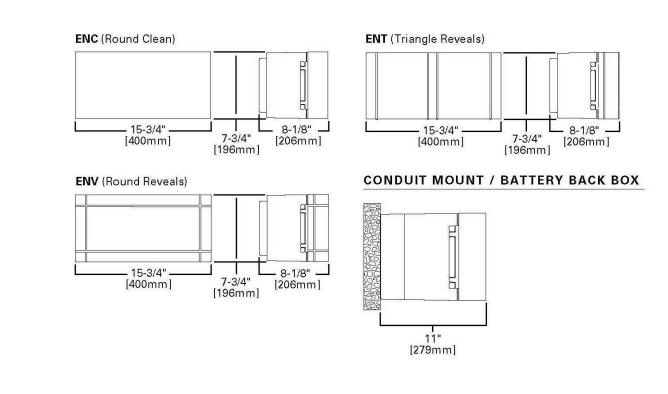
#### PROPOSED WALL MOUNTED LIGHT FIXTURE - W1

WALL MOUNTED FIXTURE, COOPER EON 303-W1-LEDB2-T5X BLACK



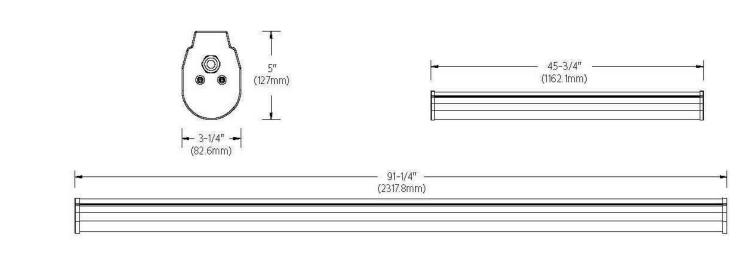
#### PROPOSED WALL MOUNTED WASH FIXTURE - W4, W5 & W6

BETA-CALCO TOWER 830 8261 40, ANTHRACITE GRAY



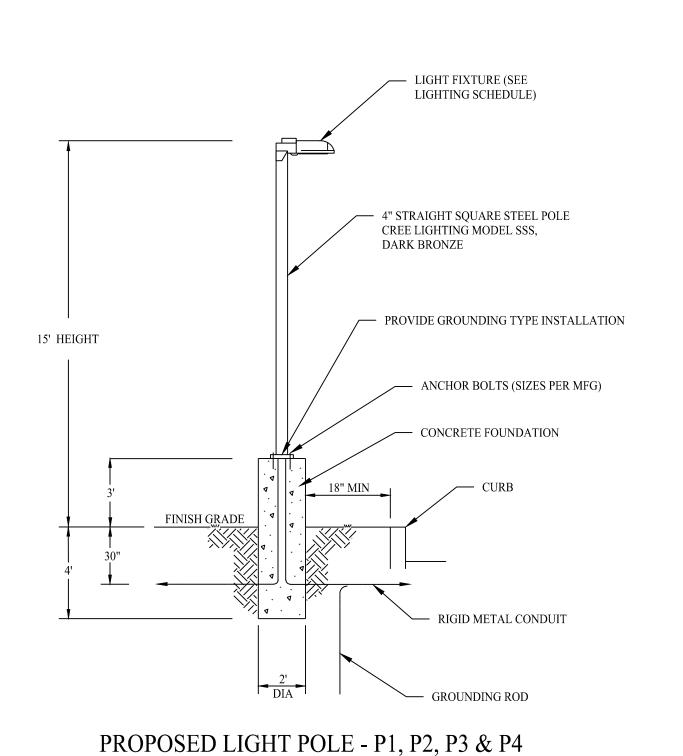
#### PROPOSED WALL MOUNTED FIXTURE - D1

COOPER INVUE ENC-SA1-740-UNV-T3, BLACK

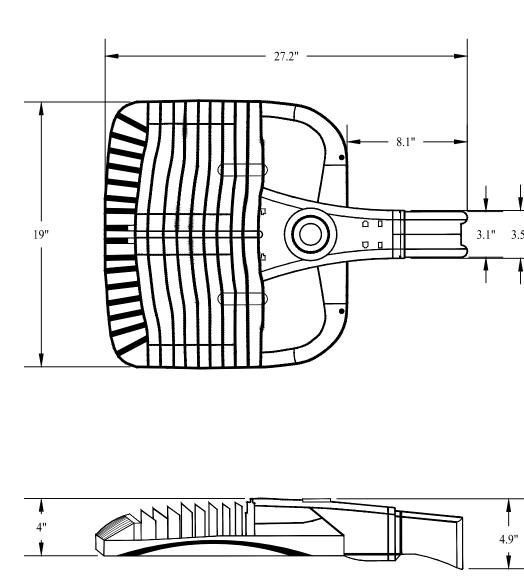


#### PROPOSED CEILING MOUNTED FIXTURE - C2

SIGNIFY FSX-8-40L-840-UNV SCALE: NTS



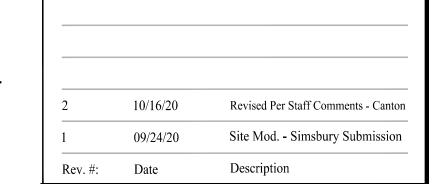
SCALE: NTS





POLE MOUNTED LIGHT FIXTURE - P1, P2, P3 & P4

CREE LIGHTING, OSQ-A LED SERIES, BRONZE



Graphic Scale:

GENERAL NOTES

LIGHTING NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO

1. ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER

APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.

2. ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER

CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES AND ISSUANCE OF A DULY AUTHORIZED CERTIFIED OF ZONING COMPLIANCE AND BUILDING PERMIT FROM THE TOWNS OF CANTON AND

2. EXISTING BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED "PROPERTY SURVEY OF 9-15 ALBANY TURNPIKE, CANTON, CT" DATED 12/10/19, SCALE: 1" = 60', BY ACCURATE LAND SURVEYING,



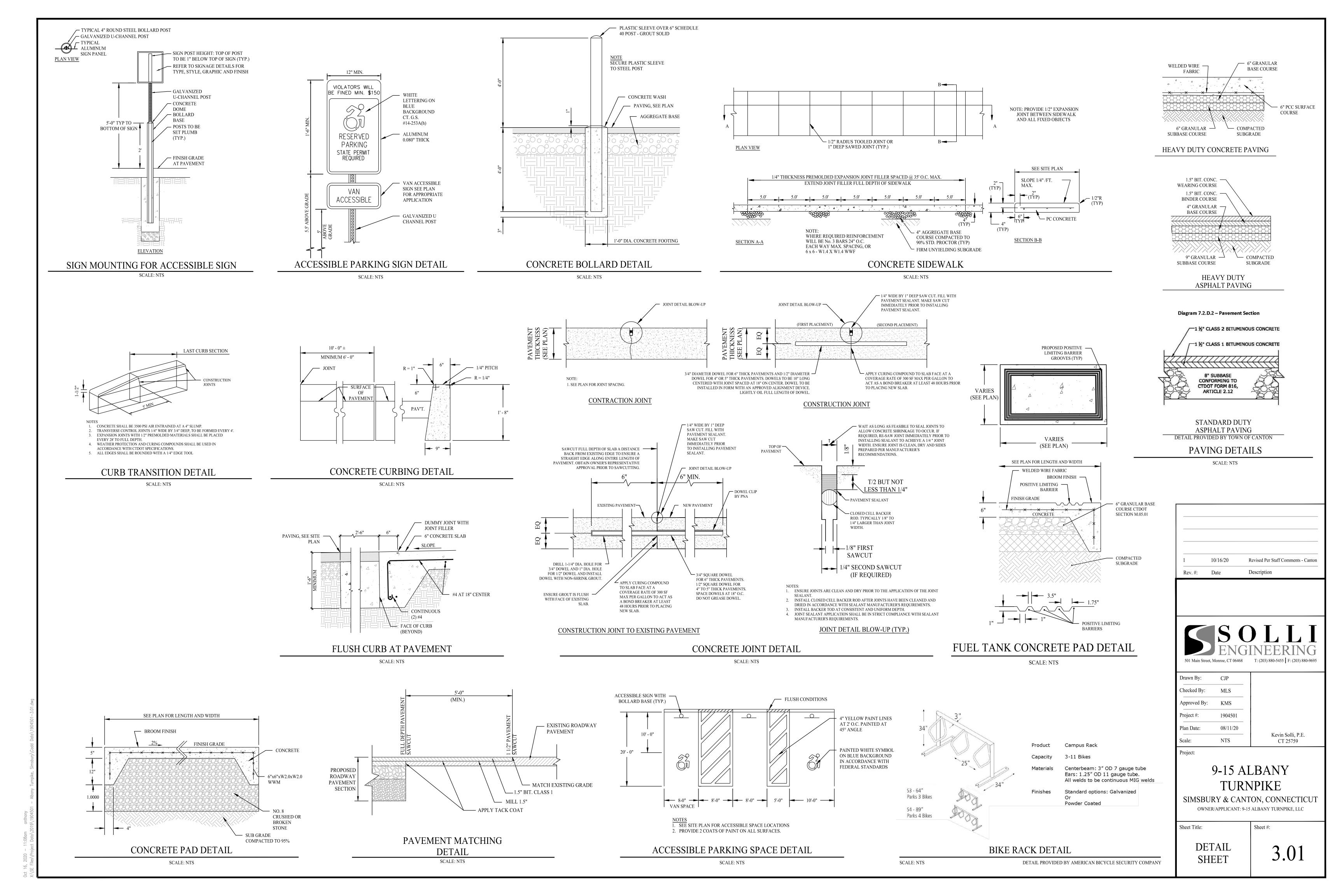
		• • • • • • • • • • • • • • • • • • • •
Drawn By:	MFB	
Checked By:	KMS	
Approved By:	KMS	
Project #:	1904501	
Plan Date:	08/11/20	
Scale:	NTS	Mary Blackburn, P.I CT 1499

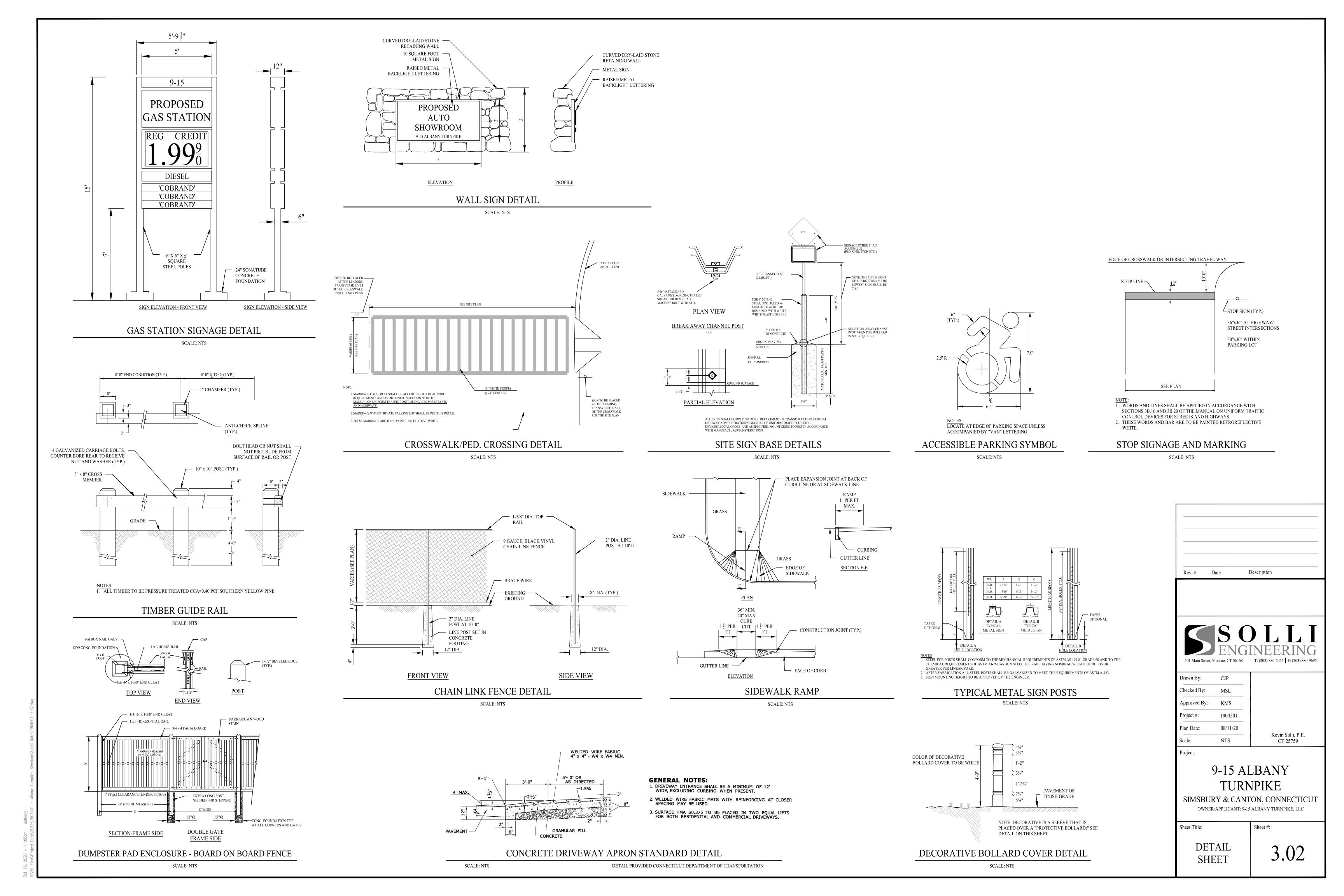
#### 9-15 ALBANY TURNPIKE

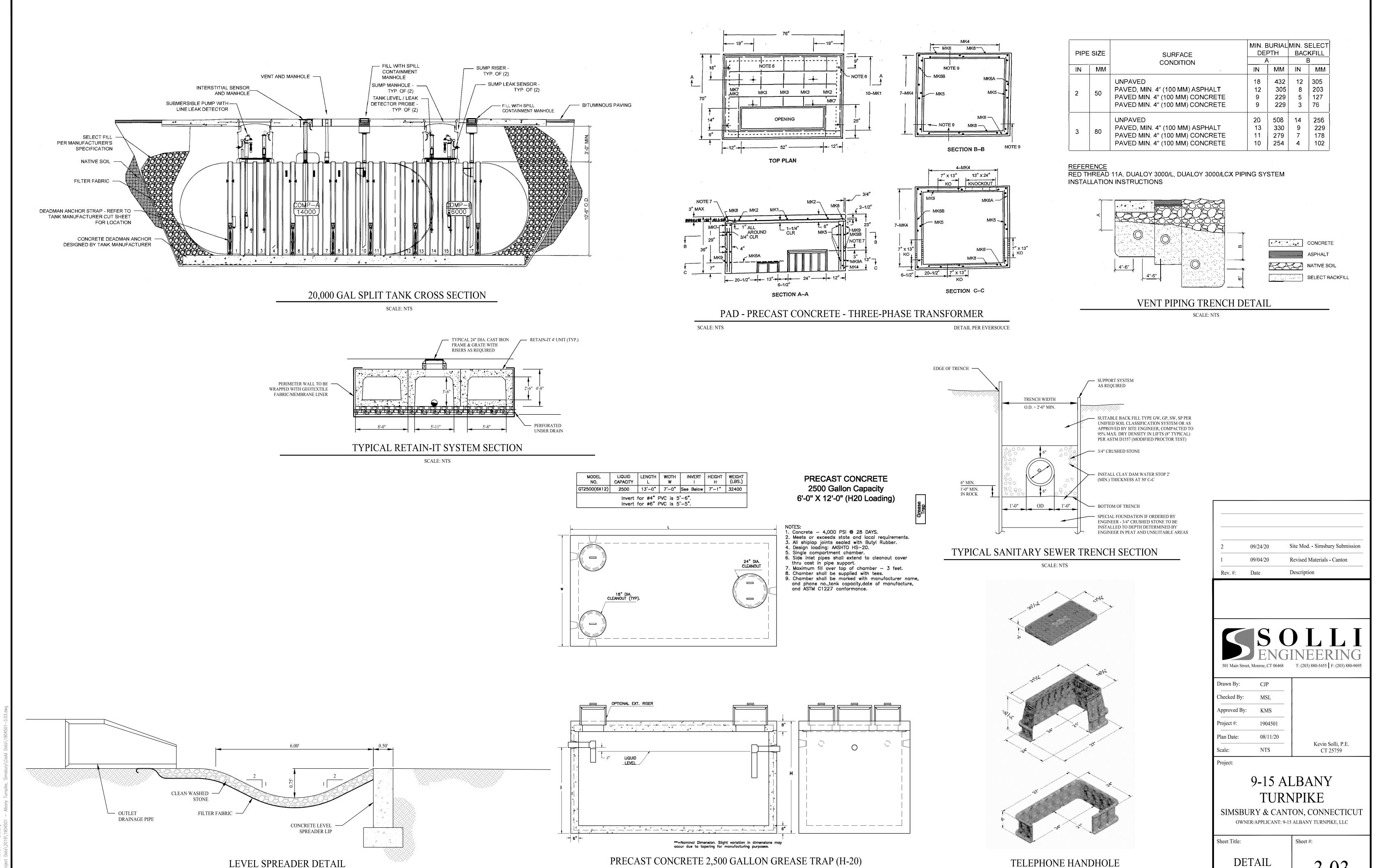
SIMSBURY & CANTON, CONNECTICUT OWNER/APPLICANT: 9-15 ALBANY TURNPIKE, LLC

LIGHTING

SHEET







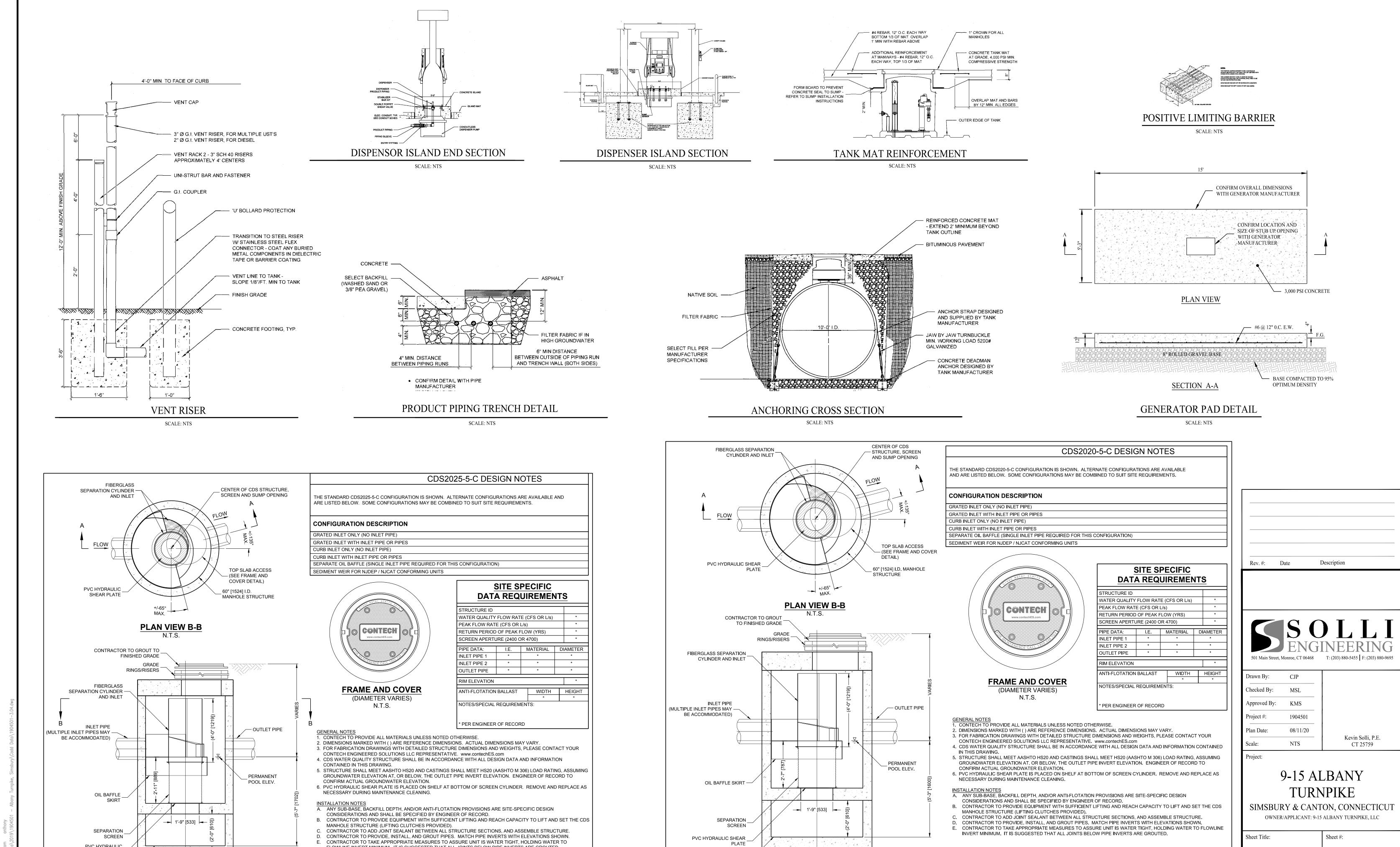
SCALE: NTS

DETAIL PROVIDED BY CT PRECAST CORPORATION SCALE: NTS

SCALE: NTS

SHEET

3.03



PLATE

**ELEVATION A-A** 

**GDS** 

www.contechES.com

9025 Centre Pointe Dr., Suite 400, West Chester, OH 4506

SOLIDS

STORAGE SUMP

FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

www.contechES.com

9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069

CDS2025-5-C

INLINE CDS

STANDARD DETAIL

PVC HYDRAULIC

SHEAR PLATE

SOLIDS STORAGE

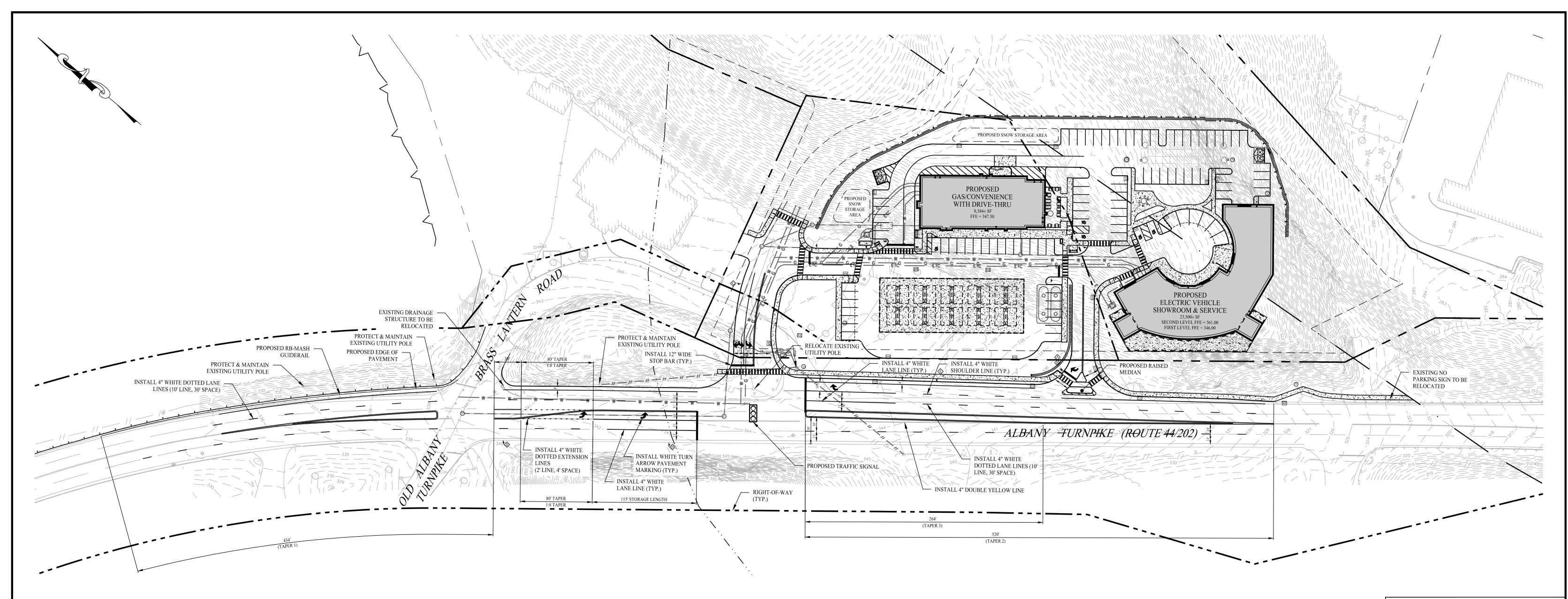
**ELEVATION A-A** 

**DETAIL SHEET** 

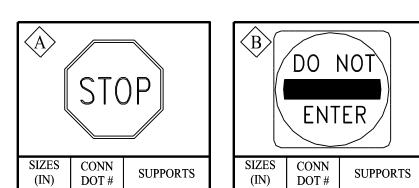
CDS2020-5-C

STANDARD DETAIL

**INLINE CDS** 



#### SIGN LEGEND

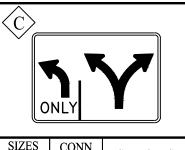


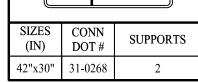
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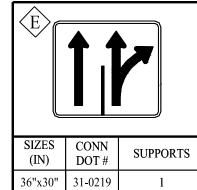
SIZES CONN SUPPORTS

(IN) DOT #

42"x30" | 31-0370 |







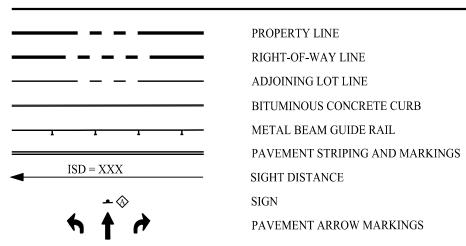
#### GENERAL NOTES

- 1. EXISTING BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED "PROPERTY SURVEY OF 9-15 ALBANY TURNPIKE, CANTON, CT" DATED 12/10/19, SCALE: 1"=60', BY ACCURATE LAND SURVEYING, LLC.
- 2. THE SUBJECT PARCELS CONSISTS OF A TOTAL AREA OF APPROXIMATELY 26.0 ACRES, LOCATED IN THE B DISTRICT OF CANTON, CONNECTICUT AND THE B-3 ZONE OF SIMSBURY, CONNECTICUT.
- 3. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTURCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES AND ISSUANCE OF A DULY AUTHORIZED CERTIFIED OF ZONING COMPLIANCE AND BUILDING PERMIT FROM THE TOWNS OF CANTON AND
- 4. OFF-SITE IMPROVEMENT WITHIN THE STATE RIGHT-OF-WAY ARE SUBJECT TO REVIEW AND APPROVAL BY THE CONNECTICUT DEPARTMENT OF TRANSPORTATION.

#### GENERAL TRAFFIC NOTES

- 1. DURING THE PROGRESS OF WORK, ALL ROADS SHALL REMAIN OPEN FOR THE PASSAGE OF TRAFFIC AND PEDESTRIANS AND SHALL NOT BE UNNECESSARILY OBSTRUCTED UNLESS AUTHORIZED BY THE AUTHORITY HAVING JURISDICTION OVER SAME. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF TRANSPORTATION (D.O.T.), TOWN PUBLIC WORKS DEPARTMENT, LOCAL POLICE AND STATE POLICE AS REQUIRED.
- 2. WARNING SIGNS SHALL BE PROVIDED ALONG ALL ROADS WHERE WORK IS IN PROGRESS. THE CONTRACTOR SHALL NOTIFY AND MAKE ALL ARRANGEMENTS WITH THE D.O.T., TOWN PUBLIC WORKS DEPARTMENT, LOCAL POLICE AND STATE POLICE FOR DIRECTION OF TRAFFIC PAST THE EQUIPMENT, MACHINERY, OR CONSTRUCTION OPERATIONS. BARRICADES AND LIGHTS SHALL BE PROVIDED TO PROTECT TRAFFIC. WHERE TRENCHES HAVE BEEN CUT IN ROAD SHOULDERS, WARNING SIGNS SHALL BE PLACED AT FREQUENT INTERVALS AND MAINTAINED UNTIL THE SHOULDER IS SAFE TO TRAVEL. ALL SUCH WORK AND OPERATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE D.O.T., PUBLIC WORKS DEPARTMENT, LOCAL POLICE AND STATE POLICE.

#### LEGEND



#### TAPER DESIGN TABLE

TAPER#	FORMULA	W (ft)	S (mph)	L (ft)
TAPER 1	$L = \frac{WS^2}{60}$	10.0	51.0	434
TAPER 2	$L = \frac{WS^2}{60}$	12.0	51.0	520
TAPER 3	L = WS	6.0	44.0	264

<sup>\*</sup> DESIGN SPEED TAKEN FROM COLLECTED SPEED DATA.

	10/16/20	D. I. ID. G. M.G.
3	10/16/20	Revised Per Staff Comments - Canton
2	09/24/20	Site Mod Simsbury Submission
1	09/04/20	Revised Materials - Canton
Rev. #:	Date Date	Description



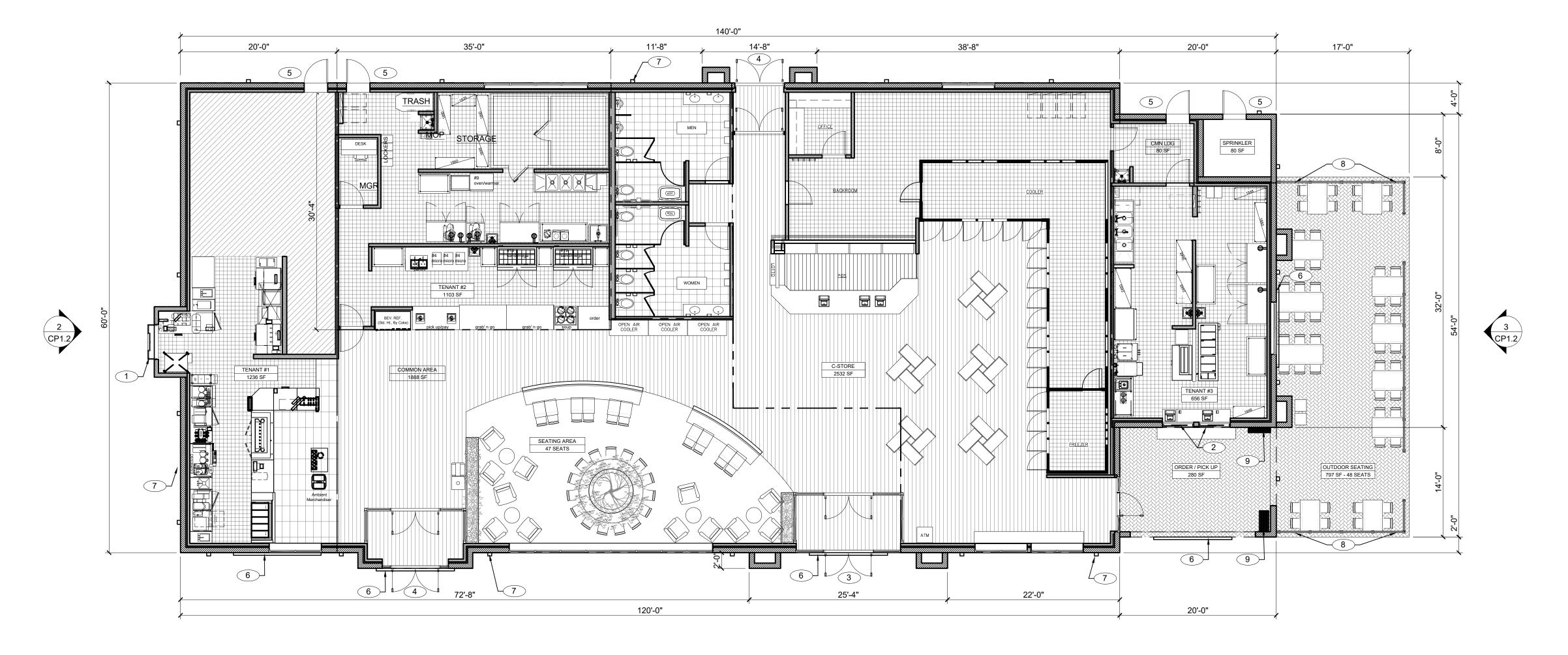
Drawn By:	MB	
Checked By:	CAB	
Approved By:	KMS	
Project #:	1904501	
Plan Date:	08/11/20	
Scale:	1" = 50'	Kevin Solli, P. CT 25759

#### 9-15 ALBANY TURNPIKE

SIMSBURY & CANTON, CONNECTICUT OWNER/APPLICANT: 9-15 ALBANY TURNPIKE, LLC

**PRELIMINARY** OFFSITE **IMPROVEMENT PLAN** 





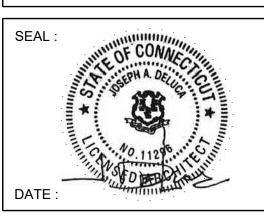
ARCHITECTURE
MILLENNIUM DESIGN ASSOCIATES, INC

1599 WASHINGTON ST, SUITE 1A
BRAINTREE, MA 02184
PHONE: 781.843.9400

www.MDAarchitecure.com

EXPERIENCE, SERVICE, CREATIVITY & PARTNERSHIP

PROJECT NO: SOL-1433



CONSULTANT:

SOLLI ENGINEERING 501 MAIN STREET MONROE, CT 06468

CLIENT :

KEY PLAN :

**FLOOR PLAN** 1/8" = 1'-0" **A** 

9-15 ALBANY TPKE SIMSBURY & CANTON, CT

ORIGINAL ISSUE

ZONING
SUBMISSION

REVISIONS & SUBMISSIONS

DATE

1 TOWN COMMENTS

10.06.20

2 CLIENT COMMENTS

10.16.20

3

4

5

6

FLOOR PLAN

DRAWING NO :

CP1.1

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EON 303 W1-LEDB2 EON 303 W1-LEDB2 STRUCTURE IS A SINGLE STORY METAL STUD OR WOOD FRAMED MIXED USE BUILDING (FOOD SERVICE AND CONVENIENCE STORE) Lumens - CRI/CCT Table Lumen Maintenance Order Information SAMPLE ORDER NUMBER: 303-W1-LEDB2-2700-UNV-T2-DIM10-BK-EDGE-LCF BUILDING HAS A 5'-0" HIGH MANSARD ROOF TO SCREEN ALL ROOF TOP Optics

Optics

UNV-Universal
120-277, 50/50Hz

T2=Type II, Lateral Throw
T4=Type IV, Forward Throw
T5X=Type V, Extra Wide Flood

DIMELV=Trailing Edge Phase
DIM10-0-10V Dimming
BR-Black
BR-Broshed
NSS-Solid Stanless Steel

Notes

Notes

Notes

Notes

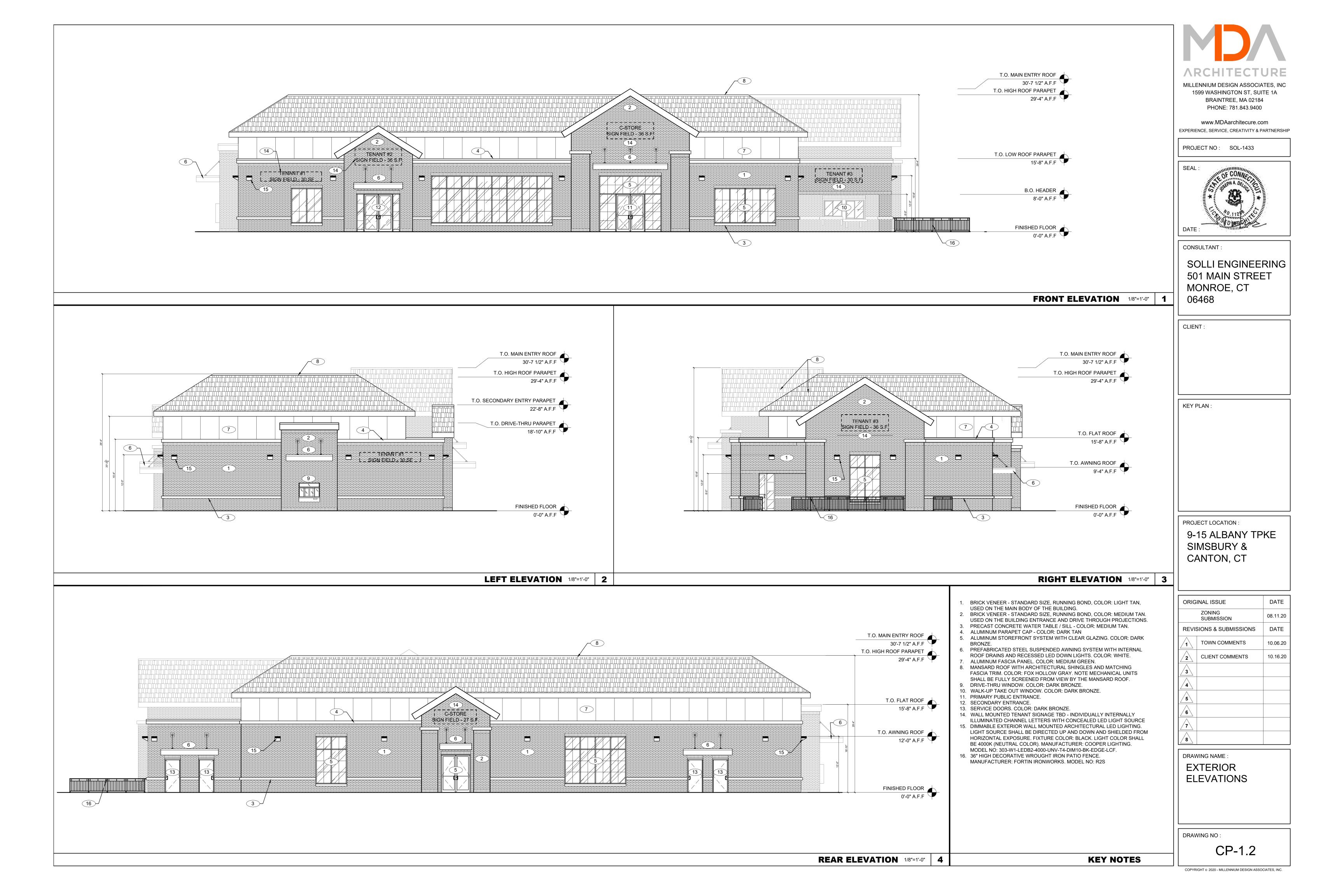
Optics

LCF-Lign...
matches house...
matches house...
(2) Add suffice in the order above...
(3) Add suffice in the order above...
(4) Add suffice in the order above...
(5) Add suffice in the order above...
(6) Add suffice in the order above...
(7) Add suffice in the order above...
(8) Add suffice in the order above...
(8) Add suffice in the order above...
(9) Add suffice in the order above... 25°C > 94% > 60,000 365,000 Color Temperature Input Voltage Optics **Current Draw** Lumière 1. DRIVE-THRU WINDOW. COLOR: DARK BRONZE. Head contains two (2) Mini LightBAR™ WALK-UP TAKE OUT WINDOW. COLOR: DARK BRONZE. EON 303-W1-LEDB2 PRIMARY PUBLIC ENTRANCE. 4. SECONDARY ENTRANCE. Ceiling / Wall Mount Direct / Indirect 5. SERVICE DOORS. COLOR: DARK BRONZE. 6. WALL MOUNTED TENANT SIGNAGE TBD - INDIVIDUALLY INTERNALLY ILLUMINATED CHANNEL LETTERS WITH CONCEALED LED LIGHT SOURCE • Hospitality • Commerical Landscape • Outdoor Area/Site • Residential • Architectural **Product Specifications** DIMMABLE EXTERIOR WALL MOUNTED ARCHITECTURAL LED LIGHTING. LIGHT SOURCE SHALL BE DIRECTED UP AND DOWN AND SHIELDED FROM The 15.5W 303-W1-LEDB2 is standard with an ELV trailing edge phase dimmable driver that accepts a universal input (120-277, 50/60Hz)

It will operate in -40°C to 50°C [-40°F to 122°F] **Product Certification** HORIZONTAL EXPOSURE. FIXTURE COLOR: BLACK. LIGHT COLOR SHALL LISTED LISTED ROHS IP66 BE 4000K (NEUTRAL COLOR). MANUFACTURER: COOPER LIGHTING. Order Information page 2 MODEL NO: 303-W1-LEDB2-4000-UNV-T4-DIM10-BK-EDGE-LCF. • Product Specifications page 2 • Lumen Maintenance page 3 **Product Features** 8. 36" HIGH DECORATIVE WROUGHT IRON PATIO FENCE. Product Warranty MANUFACTURER: FORTIN IRONWORKS. MODEL NO: R2S A variety of standard colors are available
 RAL and custom color matches available upon request 9. SLIDE AND STACK DOOR SYSTEM FOR ENCLOSURE OF SEASONAL Optical

LightBAR™ and optical assembly are sealed by a diffused, impact resistant tempered glass lens

The optical assembly is available in three distributions: T2 (lateral throw), T4 (forward throw) and T5X (Extra Wide Flood) OUTDOOR ORDER AREA. **Top Product Features**  Luminaries can also be brushed with a clear coat finish Adjustable direct or indirect luminaire - 180° Adjustable at knuckle 2700K, 3000K or 3500K or 4000K Color Temperature and Amber (585-595nm) Forward/Lateral Throw or Flood Optics with diffuse glass sealed lens Patented AccuLED OpticsTM System Both color temperature and distribution must be specified when ordering – see catalog logic for details Universal Input LED Driver Included (120 - 277V, 50/60 Hz) ELV or 0-10 Dimming 1. Junction box size and depth is important when specifying product. Recommended junction boxes include 2-1/8" deep, 4" square weld/drawn Crouse Hinds part numbers TP403, TP434, TP194, TP196, TP395 or equivalent. Use with included universal mounting plate or with Crouse-Hinds part number TP480 or equivalent cover with similar 4. When specifying with the EDGE option, the diffused glass becomes thicker adding a visible line of light around the edge accentuating the luminaries' aesthetics and styling 5. If Luminaire will not be dimmed, the Luminaire must be ordered with DIMELV option, but does not have to be dimmed. TECHNICAL DATA 50°C Maximum Temperature Rating External Supply Wiring 90°C Minimum 2020 Cooper Lighting Solutions All Rights Reserved. COOPER
Lighting Solutions **O** COOPER COOPER Lighting Solutions PS526030EN page 1 April 23, 2020 1:22 PM PS526030EN page 2 April 23, 2020 1:22 PM PS526030EN page 3 April 23, 2020 1;22 PM Specifications and dimensions subject to change without notice. **LUMIERE EON 303-W1-LEDB2 SPEC KEY NOTES** 





T.O. MAIN ENTRY ROOF

T.O. HIGH ROOF PARAPET
29'-4" A.F.F

T.O. DRIVE-THRU PARAPET

18'-10" A.F.F

FINISHED FLOOR
0'-0" A.F.F

LEFT ELEVATION 1/8"=1'-0" 2

T.O. SECONDARY ENTRY PARAPET 22'-8" A.F.F

L\_SIGN EIELD=30.SE\_J

30'-7 1/2" A.F.F



RIGHT ELEVATION 1/8"=1'-0" 3

CONSULTANT:

SOLLI ENGINEERING
501 MAIN STREET
MONROE, CT

06468

CLIENT :

KEY PLAN:

MILLENNIUM DESIGN ASSOCIATES, INC

1599 WASHINGTON ST, SUITE 1A

BRAINTREE, MA 02184 PHONE: 781.843.9400

www.MDAarchitecure.com

EXPERIENCE, SERVICE, CREATIVITY & PARTNERSHIP

PROJECT NO: SOL-1433

SEAL:

T.O. MAIN ENTRY ROOF
307-712" A.F.F

T.O. HIGH ROOF PARAPET
29"-4" A.F.F

T.O. LOW ROOF PARAPET
15"-8" A.F.F

B.O. HEADER
8"-0" A.F.F

FINISHED FLOOR
0"-0" A.F.F

9-15 ALBANY TPKE SIMSBURY & CANTON, CT

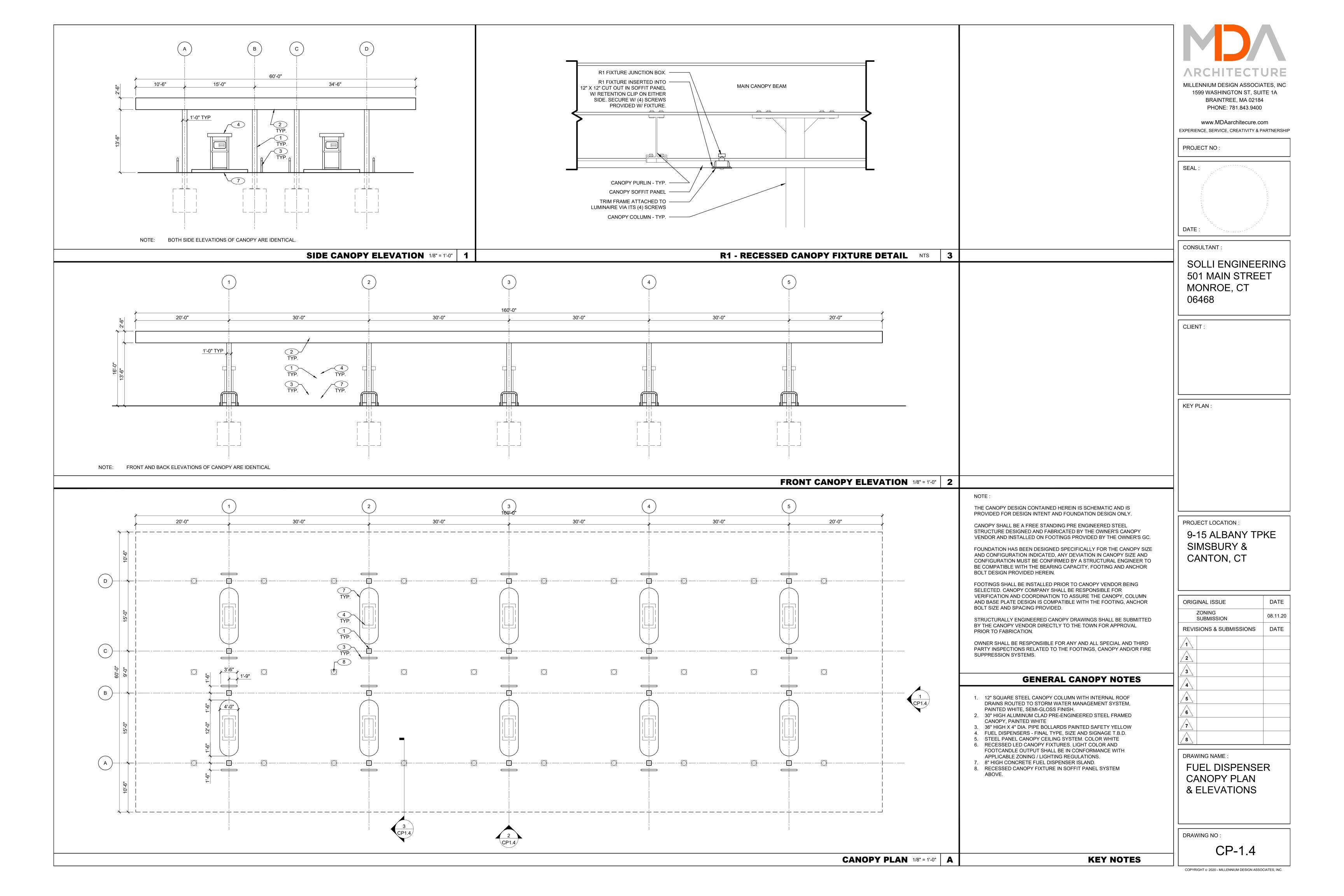
ORIG	DATE	
	08.11.20	
REVISIONS & SUBMISSIONS		DATE
1	TOWN COMMENTS	10.06.20
2	CLIENT COMMENTS	10.16.20
3		
4		
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8		

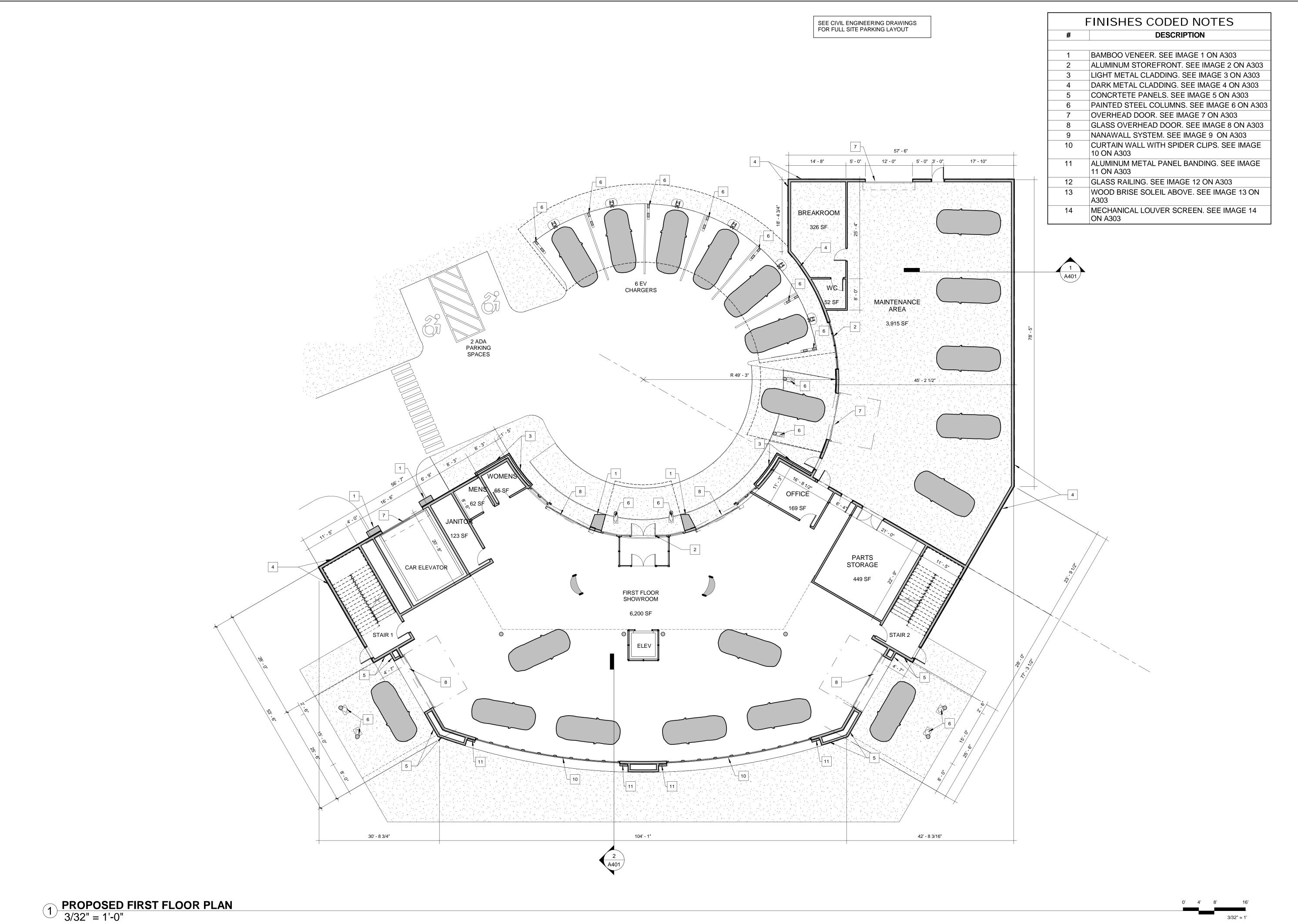
EXTERIOR
ELEVATIONS COLORED

DRAWING NO :

CP1.3

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ARCHITECT:

PHASE ZERO
DESIGN

architects | interior designers

8 WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628

FAX: (860) 264-1628 www.phasezerodesign.com





## SOLLI

# CE BUILDING

MAINTENANCE BL CANTON

REVISIONS

NO. DATE DESCRIPTION

SEAL:

PROGRESS DRAWING

10/16/2020 1:54:48 PM NOT FOR CONSTRUCTION

ISSUED FOR: REVIEW
ISSUED DATE: 10.16.2020

DRAWN BY:JB
CHECKED BY:CM

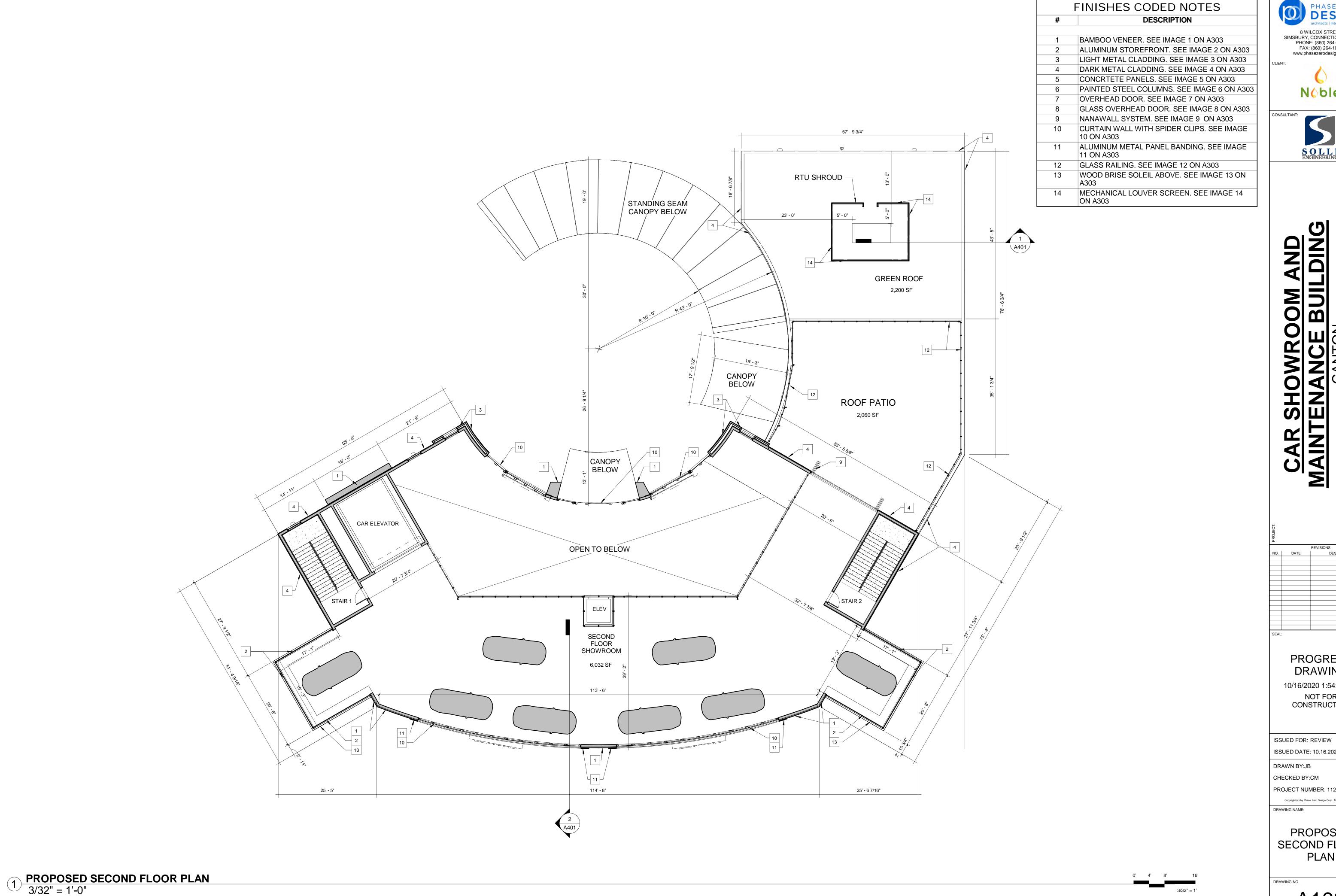
RAWING NAME:

PROJECT NUMBER: 1120247

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PROPOSED FIRST FLOOR PLAN

DRAWING NO



8 WILCOX STREET SIMSBURY, CONNECTICUT 06070 PHONE: (860) 264-1624 FAX: (860) 264-1628 www.phasezerodesign.com





REVISIONS
NO. DATE DESCRIPTION

2

**PROGRESS** DRAWING

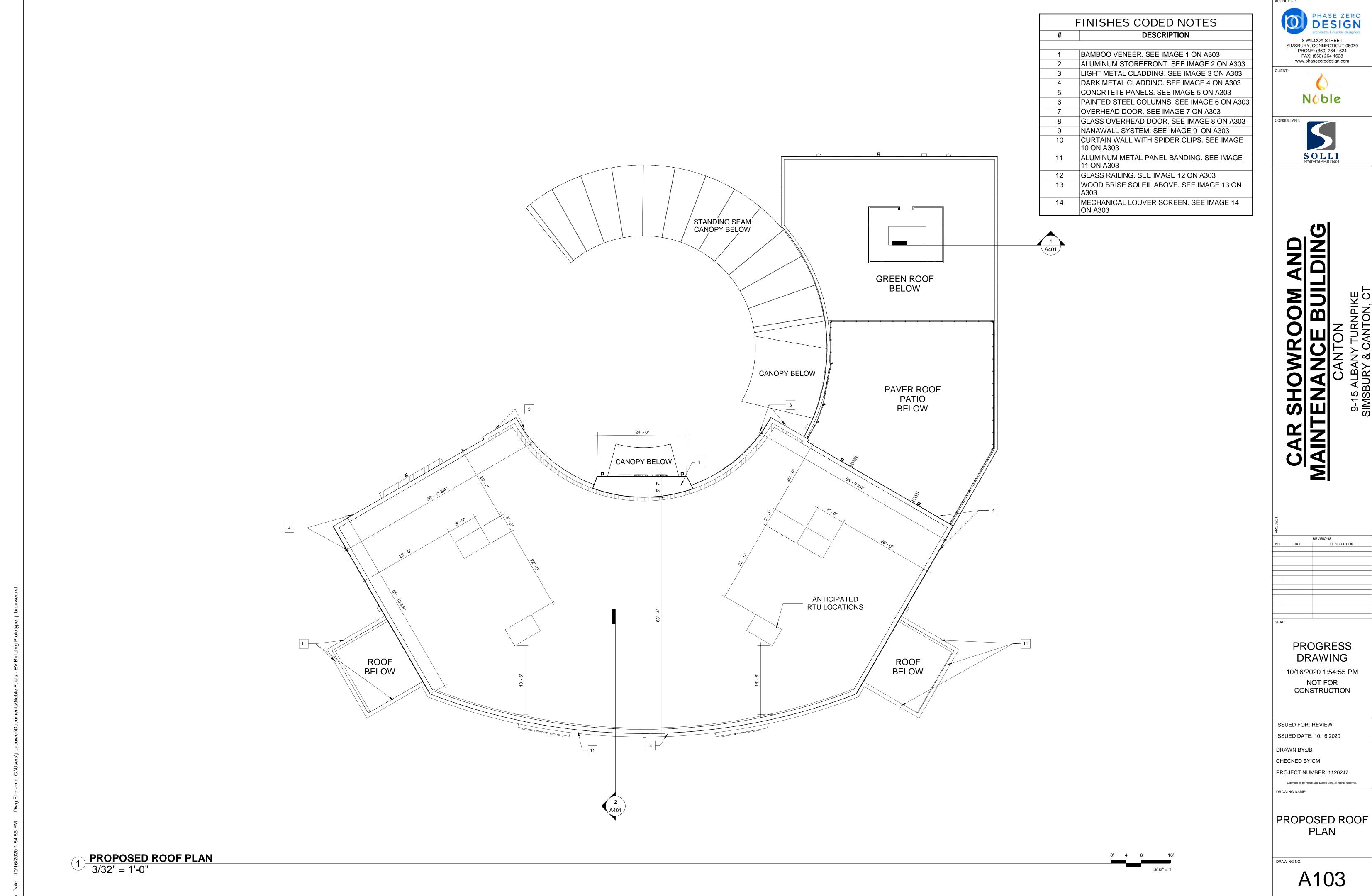
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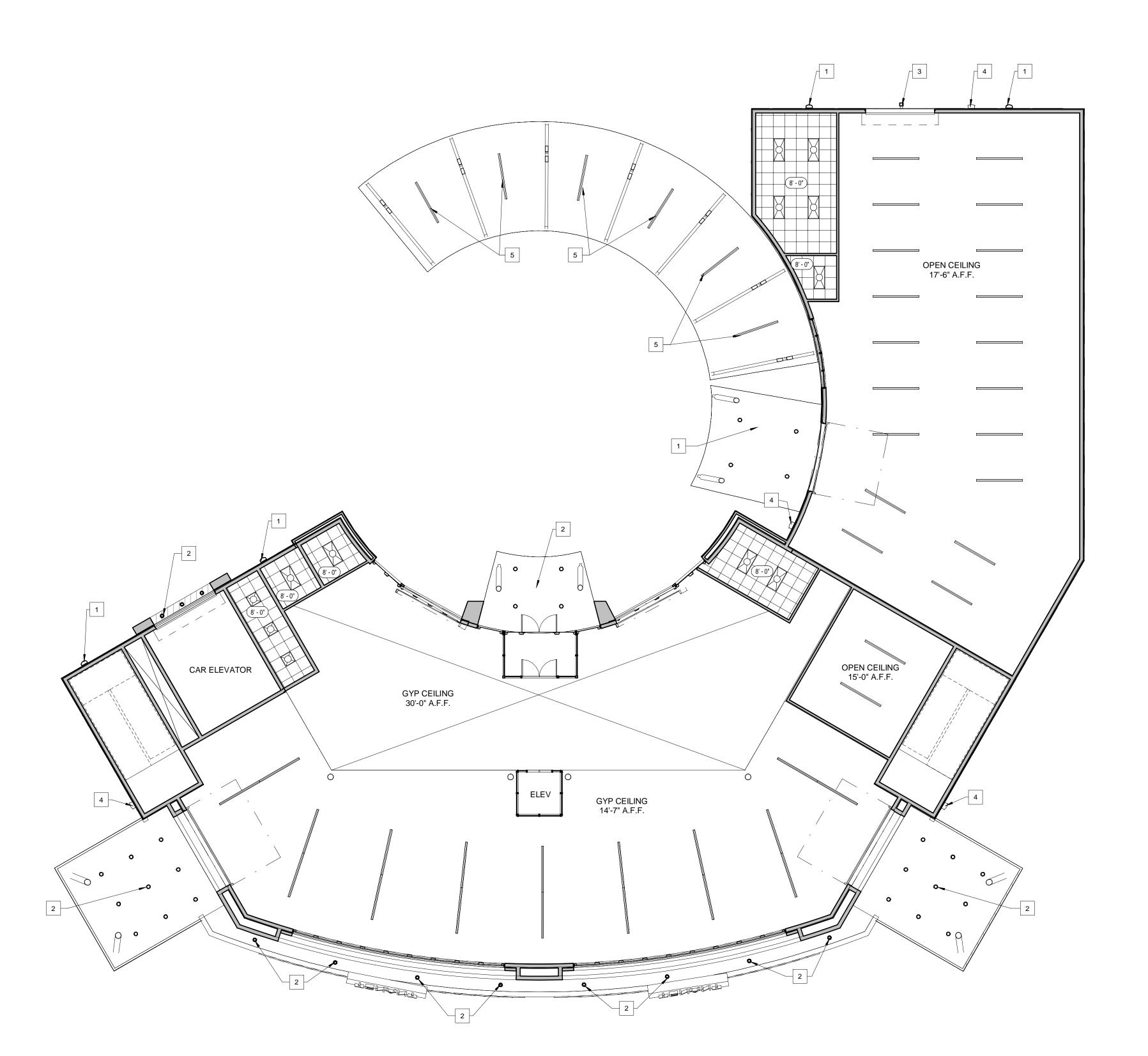
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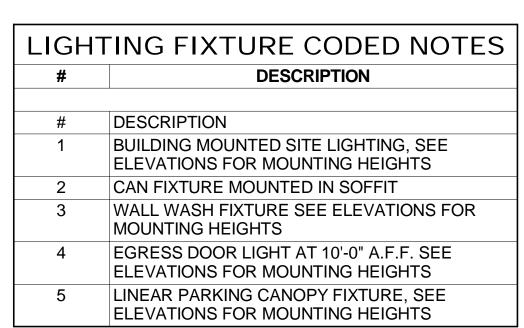
DRAWN BY:JB CHECKED BY:CM

PROJECT NUMBER: 1120247 RAWING NAME:

> PROPOSED SECOND FLOOR PLAN













# SOLLI

# SHOWROOM AND TENANCE BUILDIN

PROJECT		
REVISIONS		
NO.	DATE	DESCRIPTION

2

#### PROGRESS DRAWING

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ISSUED FOR: REVIEW
ISSUED DATE: 10.16.2020

DRAWN BY:JB

CHECKED BY:CM

PROJECT NUMBER: 1120247

PROPOSED FIRST

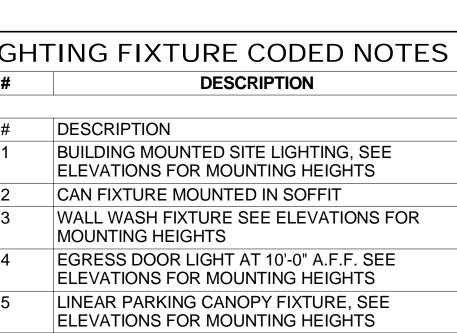
FLOOR LIGHTING PLAN

DRAWING NO

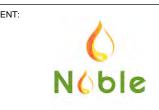
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PROPOSED FIRST FLOOR LIGHTING PLAN
3/32" = 1'-0"

LIGHTING FIXTURE CODED NOTE		
#	DESCRIPTION	
#	DESCRIPTION	
1	BUILDING MOUNTED SITE LIGHTING, SEE ELEVATIONS FOR MOUNTING HEIGHTS	
2	CAN FIXTURE MOUNTED IN SOFFIT	
3	WALL WASH FIXTURE SEE ELEVATIONS FOR MOUNTING HEIGHTS	
4	EGRESS DOOR LIGHT AT 10'-0" A.F.F. SEE ELEVATIONS FOR MOUNTING HEIGHTS	
5	LINEAR PARKING CANOPY FIXTURE, SEE ELEVATIONS FOR MOUNTING HEIGHTS	









# SOLLI ENGINEERING

# CAR SHOWROOM MAINTENANCE BUI

PROJECT:			
	REVISIONS		
NO.	DATE	DESCRIPTION	
$\vdash$			

#### **PROGRESS** DRAWING

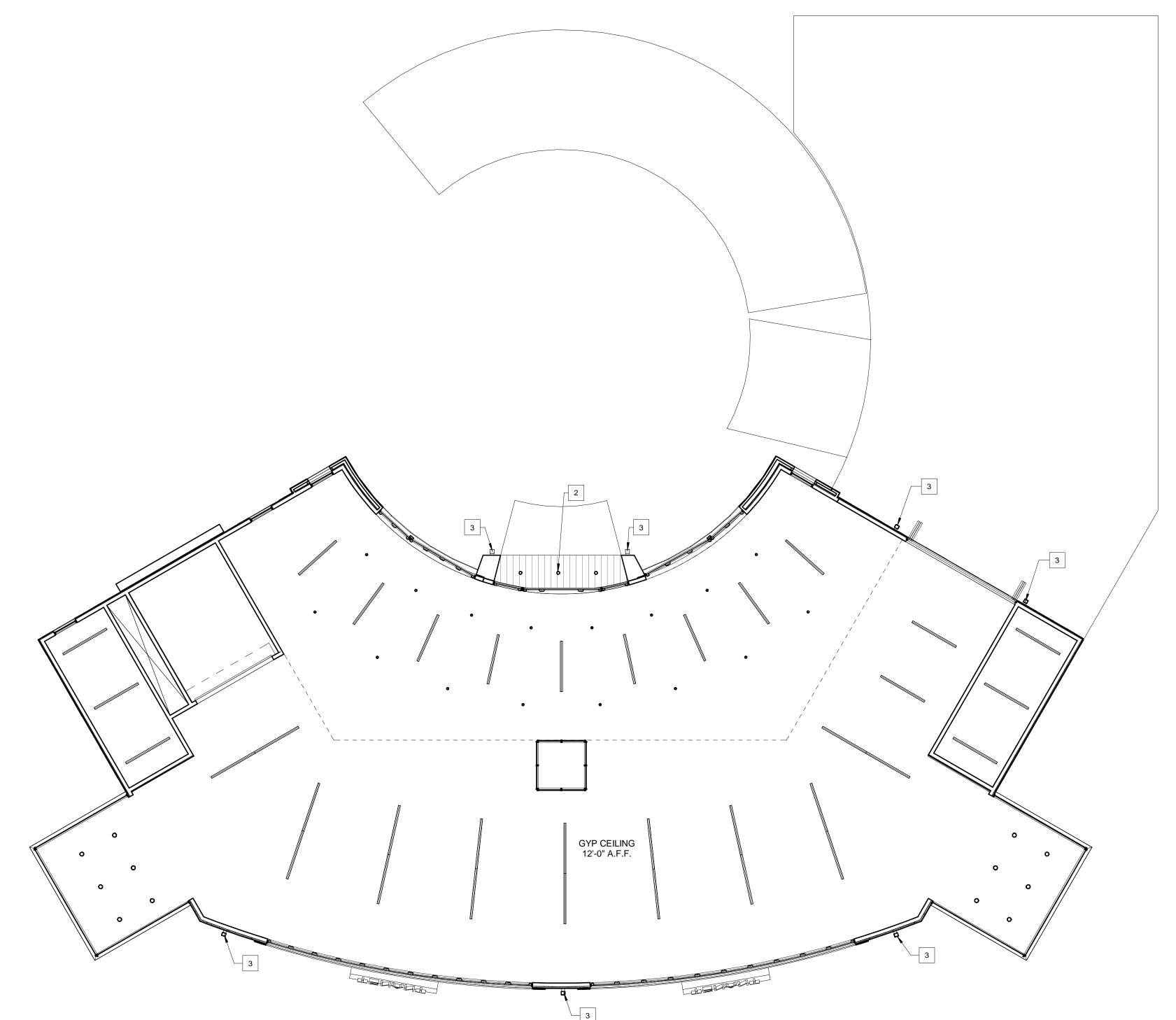
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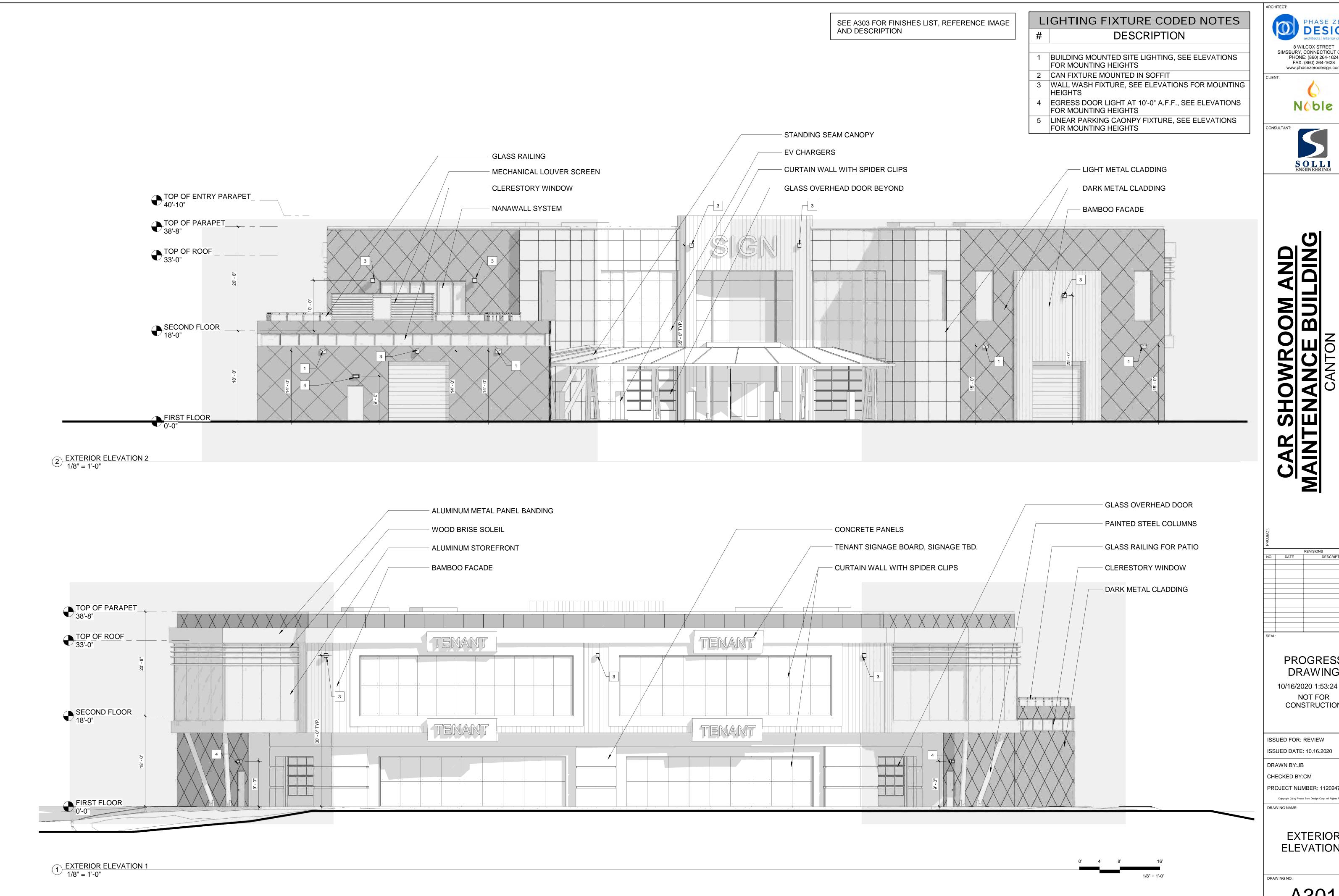
ISSUED FOR: REVIEW ISSUED DATE: 10.16.2020

DRAWN BY:JB CHECKED BY:CM

PROJECT NUMBER: 1120247 DRAWING NAME:

PROPOSED SECOND FLOOR LIGHTING PLAN





PHASE ZERO DESIGN 8 WILCOX STREET SIMSBURY, CONNECTICUT 06070 PHONE: (860) 264-1624

www.phasezerodesign.com



SOLLI ENGINEERING

REVISIONS
NO. DATE DESCRIPTION

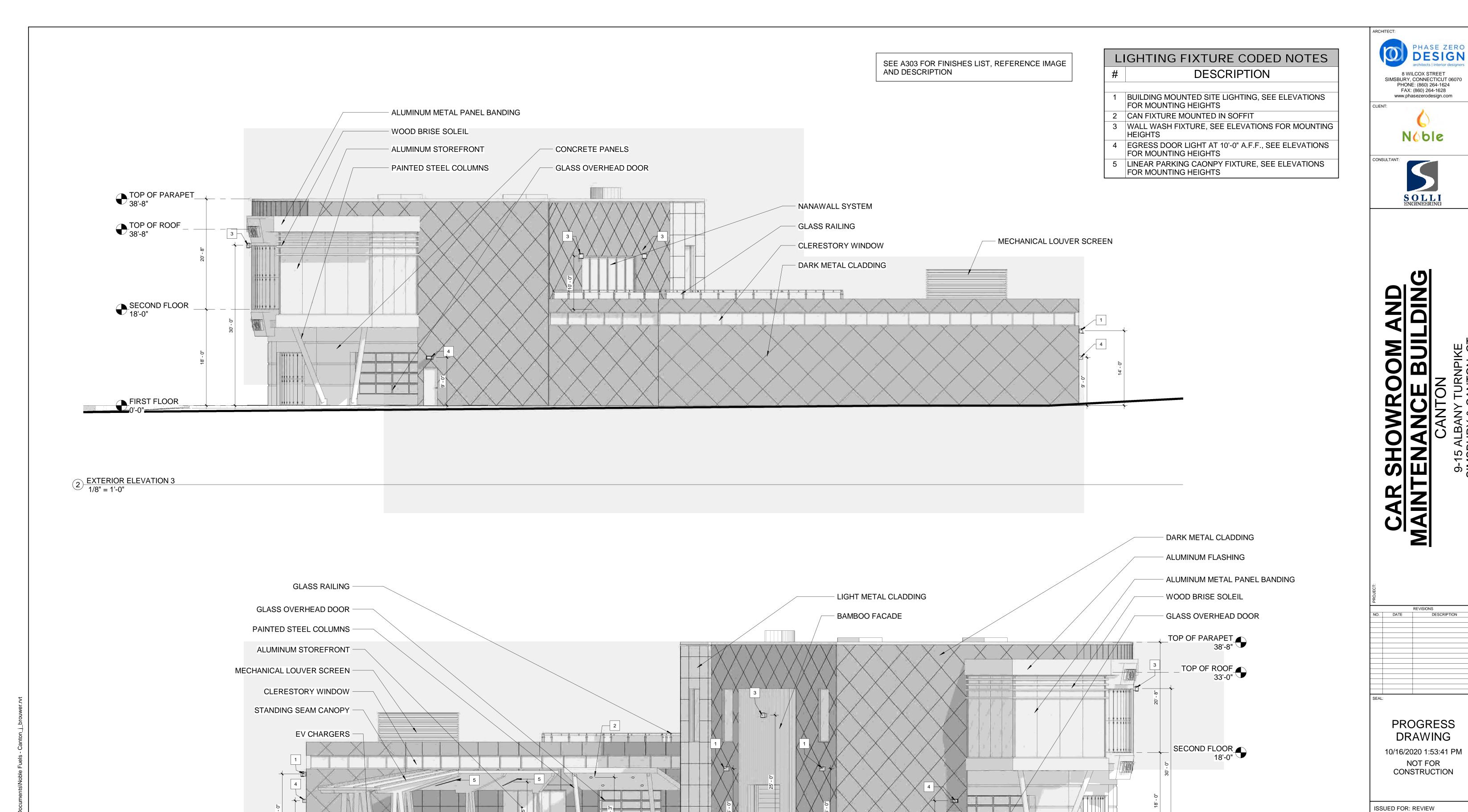
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ISSUED DATE: 10.16.2020

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> **EXTERIOR ELEVATION I**



1 EXTERIOR ELEVATION 4
1/8" = 1'-0"

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DRAWING NAME:

ISSUED DATE: 10.16.2020

EXTERIOR ELEVATION II

DRAWING

FIRST FLOOR



# - BAMBOO FACADE

HDG BUILDING MATERIALS - HDG EXTERIOR BAMBOO https://hdgbuildingmaterials.com/products/decking-siding/hdg-bamboo/



# 7 - OVERHEAD DOOR

OVERHEAD DOOR - INSULATED SECTIONAL STEEL-BACK DOORS https://www.overheaddoor.com/insulated-sectional-steel-back-doors



# 13 - WOOD BRISE SOLEIL

KAWNEER - VERSOLEIL SUN SHADE SINGLE BLACK SYSTEM https://www.kawneer.com/kawneer/north\_america/en/product.as p?prod\_id=4168&desc=commercial-single-blade-sun-shade-



8 WILCOX STREET SIMSBURY, CONNECTICUT 06070 PHONE: (860) 264-1624 FAX: (860) 264-1628

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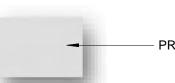
AND DING





# 2 - ALUMINUM STOREFRONT

KAWNEER STOREFRONT - 1620UT SSG CURTAIN WALL SYSTEM https://www.kawneer.com/kawneer/north\_america/en/product.asp?cat\_id= 1992&prod\_id=4701&desc=thermal-ssg-curtain-wall-system



PROPOSED COLOR



# 8 - GLASS OVERHEAD DOOR

OVERHEAD DOOR - ALUMINUM GLASS DOORS 521 https://www.overheaddoor.com/aluminum-glass-doors-521



# 14 - MECHANICAL SCREEN

LOUVERED ROOF EQUIPMENT SCREENS

https://www.archlouvers.com/Equipment\_Screens.htm? gclid=EAlalQobChMlhL7po9W57AIVBa\_ICh0tlAmZEAAYAiAAEgJMS PD\_BwE



# 3 - LIGHT METAL CLADDING

OMEGA PANEL LAMINATORS - OMEGA-LITE - ASCOT WHITE https://www.laminatorsinc.com/architectural-systems/products/omega-lite





## 9 - NANA WALL SYSTEM

NANAWALL - FOLDING GLASS WALLS https://www.nanawall.com/folding-glass-walls



# 4 - DARK METAL CLADDING

MAC METAL BLOCK SIDING - DARK GREY https://macmetalarchitectural.com/en/produit/metalblock/





# 10 - CURTAIN WALL WITH SPIDER CLIPS

GLASSCON - CABLES GLAZED WALLS - SUSPENDED GLAZING https://www.glasscon.com/products/spider-glass-suspended-glass-finscable-system/cables-glazed-walls-suspended-glazing



# 5 - CONCRETE PANELS

NICHIHA FIBER CEMENT PANELS - INDUSTRIAL BLOCK -CONCRETE SERIES

https://www.nichiha.com/product/industrialblock



# 11 - ALUMINUM PANEL BANDINGS

OMEGA PANEL LAMINATORS - OMEGA-LITE - BRIGHT SILVER (METALIC) https://www.laminatorsinc.com/architectural-systems/products/omega-lite





# 6 - PAINTED STEEL COLUMNS





# 12 - GLASS RAILING

CRL -05 7300 STAINLESS STEEL POST RAILING SYSTEMS http://www.crl-arch.com/product\_page/architectural\_railings/3 \_stainless\_steel\_systems.html

2

REVISIONS

NO. DATE DESCRIPTION

## **PROGRESS** DRAWING

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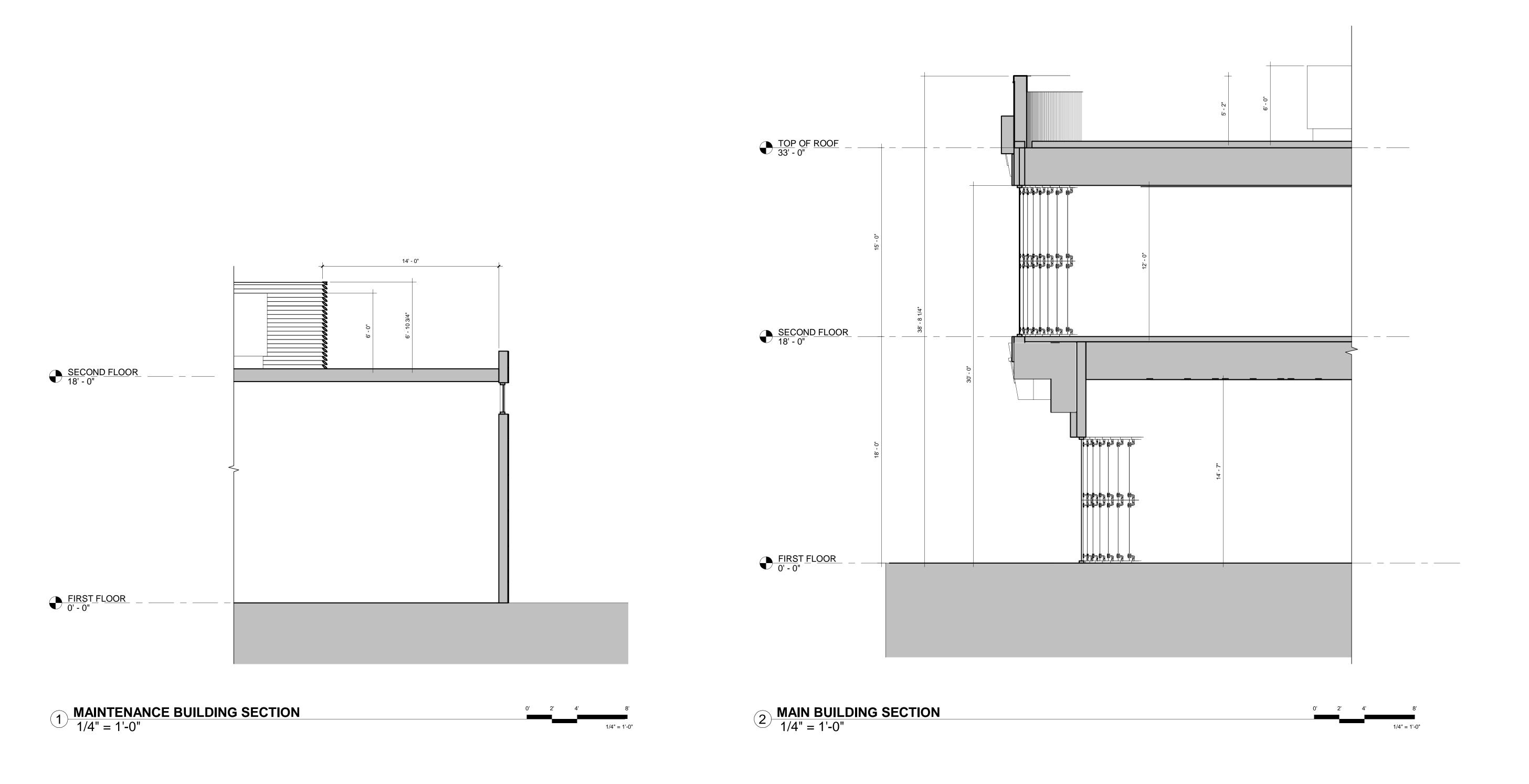
ISSUED FOR: REVIEW ISSUED DATE: 10.16.2020

DRAWN BY:JB CHECKED BY:CM

PROJECT NUMBER: 1120247 Copyright (c) by Phase Zero Design Corp. All Rights Reserved RAWING NAME:

MATERIALS LIST

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Noble



# SOLLI ENGINEERING

# DOM AND BUILDING

CAR SHOMAINTEN

REVISIONS

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**PROGRESS** DRAWING

10/16/2020 1:55:02 PM NOT FOR CONSTRUCTION

ISSUED FOR: REVIEW ISSUED DATE: 10.16.2020

DRAWN BY:Author CHECKED BY:Checker

PROJECT NUMBER: 1120247 DRAWING NAME:

BUILDING SECTIONS

A401







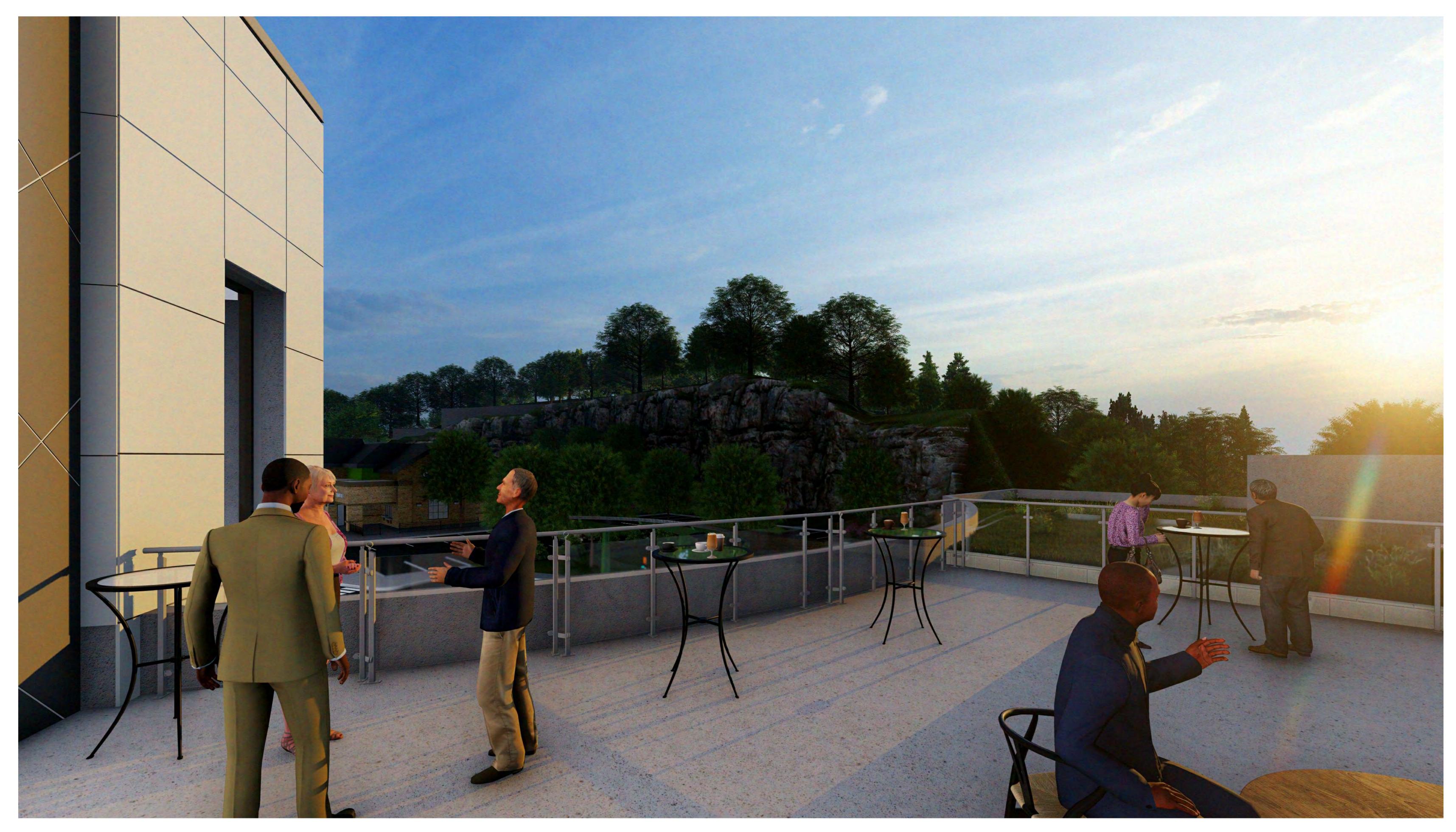




































# INLAND WETLANDS & WATERCOURSES AGENCY Canton, Connecticut INC. 1806

4 Market Street, Canton, Connecticut 06019

Certified Mail: 7018 2290 0001 6391 1383

October 14, 2020

Mr. James Lyons Ms. Judith Fifield P.O. Box 438 Collinsville, CT 06022

Re: **File 05-20-1191;** 25 and 31 Powder Mill Road; Assessor's Map 30; Parcels 4310025 and 4310031; Zone R-1; request to establish a picnic area with campsite, wandering trail and wildlife

refuge; James Lyons, applicant/owner

Dear Mr. Lyons and Ms. Fifield,

Please be advised that at a regular meeting on Thursday, October 8 2020, the Canton Inland Wetlands and Watercourses Agency voted on the above referenced item.

**MOTION**: Mr. Shepard moved to APPROVE File 05-20-1191; 25 and 31 Powder Mill Road; Assessor's Map 30; Parcels 4310025 and 4310031; Zone R-1; request to establish a picnic area with campsite, wandering trail and wildlife refuge; James Lyons, applicant/owner, as revised, subject to the following conditions:

- 1. The shed be moved outside the floodplain;
- 2. If there is leftover material after recreating the swales and removing the pipes, any excess material may only be spread outside the Upland Review Area;
- 3. The applicant extends the area where the wild seed is spread to include the area where the shed was previously:
- 4. Waivers of Section 7.3E and Section 7.4D are granted; and,
- 5. The approval is granted for two years.

This approval with conditions and modifications is made, in part, on the basis of, and the Agency's reliance upon, the application form submitted on May 29, 2020, and upon the documentation submitted by the Applicant or others during the course of the proceedings on the application.

#### Correspondence:

- Town of Canton IWWA Application File 05-20-1191; 25 and 31 Powder Mill Road; Assessor's Map 30; Parcels 4310025 and 4310031; Zone R-1; request to establish a picnic area with campsite, wandering trail and wildlife refuge; James Lyons, applicant/owner
- 1b. Town of Canton IWWA Application File 05-20-1191; 25 and 31 Powder Mill Road; Assessor's Map 30; Parcels 4310025 and 4310031; Zone R-1; request to establish a picnic area with campsite, wandering trail and wildlife refuge; James Lyons, applicant/owner; revised 9/30/20
- 2. Google map with hand-drawn details
- 3. Google map depicting aerial imagery
- 4. Property survey
- 5. Letter from CT Department of Health regarding composting system at 31 Powder Mill Road; dated 6/1/20
- 6. Email from Dianne Harding of the FVHD to Town Staff regarding composting system; dated 6/5/20

- 7. Staff memorandum from Assistant Town Planner Emily Kyle to the Agency regarding application completion report; dated 6/9/20
- 8. Supplemental material provided by applicant via email (29 pages); received 7/27/20
- 9. Staff memorandum prepared by Emily Kyle to the Agency regarding application completion review; dated 8/10/20
- 10. Legal notice
- 11. Email of support from Antoine Bisseiux to Emily Kyle; dated 8/11/20
- 12. Letter of concern from Kathleen Munroe to the Agency; dated 8/13/20
- 13. Supplemental information provided by Judith Fifield to Emily Kyle; dated 8/17/20
- 14. Email of concern from Jimmy Rodriquez to Agency; dated 8/19/20
- 15. Email of concern from Jeff Fitting to Agency; dated 8/18/20
- 16. Email of concern from Robert and Maria Masterson; dated 8/18/20
- 17. Email of concern from Preston Ruddell; dated 8/18/20
- 18. Email of concern from Dean Grande; dated 8/18/20
- 19. Email of concern from Robert and Maria Masterson; dated 8/18/20
- 20. Email of concern from Preston Ruddell and Joanne Verde; dated 8/18/20
- 21. Email of concern from Frances Hoffnagle; dated 8/18/20
- 22. Email of concern from Christopher and Julie Reed; dated 8/18/20
- 23. Email of concern from Susan Baldwin: dated 8/18/20
- 24. Email of concern from Kathleen Monroe; dated 8/18/20
- 25. Email of concern from Wendy Baron; dated 8/17/20
- 26. Email of concern from Joan Kantor; dated 8/16/20
- 27. Email of concern from Robert Wahl and Elaine Adams; dated 8/16/20
- 28. Email of concern from Robert Wahl; dated 8/16/20
- 29. Email of concern from Arnold Shimelman; dated 8/14/20
- 30. Email of concern from Greg and Jill Calibey; dated 8/13/20
- 31. Email of concern from Anthony Newman; dated 8/13/20
- 32. Email of concern from Arnold and Carol Shimelman; dated 8/13/20
- 33. Email of concern from Donna Miscikoski; dated 8/13/20
- 34. Email of concern from Sharon Tomko; dated 8/13/20
- 35. Email of concern from Joan Kantor: dated 8/16/20
- 36. Letter of support from Peter and Birgitta Hamilton; received 8/19/20
- 37. 08/13/20 IWWA draft meeting minutes
- 38. Email of concern from Anthony Williams; dated 8/19/20
- 39. 08/19/20 PZC draft meeting minutes
- 40. Email of concern from Annie Lord; dated 8/21/20
- 41. Email of concern from Wendy Baron; dated 9/8/20
- 42. Email of concern from Frances Hoffnagle; dated 9/9/20
- 43. Email and corresponding maps from Jim Lyons to Emily Kyle; dated 9/10/20
- 44. Engineer Report from Andrew Quirk of Kratzert, Jones & Associates, Inc.; dated 9/10/20
- 45. Email and corresponding consent form from Emily Kyle to Renee Deltenre regarding applicant's consent for extension of statutory time; dated 9/11/20
- 46. Remediation Plan; received 10/2/20
- 47. Engineer Report from Andrew Quirk of Kratzert, Jones & Associates, Inc.; dated 9/28/20
- 48. Connecticut Ecosystems Report; dated 8/27/20
- 49. Abutters list for 25 Powder Mill Road
- 50. Abutters list for 31 Powder Mill Road

**SECONDED:** By Mr. Henry. **VOTE:** The motion passed, 5-0-0.

Please contact the Land Use office if you have any questions or concerns regarding this action. A notice of decision will appear on the Town of Canton Website on Wednesday, October 14, 2020.

#### The permit is issued by the IWWA subject to the following general conditions:

- 1. The applicant, owner, or agent (permittee) shall notify the IWWA in writing a minimum of forty-eight (48) hours prior to commencing work on the site and at the completion of the permitted activities.
- 2. The permit is valid for a period not to exceed two (2) years from the date of issue. The permittee may request and the IWWA or the IWWA Agent may grant such additional periods to complete the authorized activities prior to the expiration of the permit.
- 3. All work shall be consistent with the terms and conditions of the permit and the Regulations of the IWWA. All work not specifically identified and authorized herein shall constitute a violation of this permit and may result in an enforcement action.
- 4. This permit is not transferable to any other party without the written authorization of the IWWA or the IWWA Agent.
- 5. In evaluation of the application for this permit, the IWWA Agent has relied upon information provided by the permittee. If such information is subsequently found to be false, incomplete, or misleading, this permit may be modified, suspended, or revoked by the IWWA or the IWWA Agent. The permittee may be subject to civil or criminal prosecution, as provided by law, in the event the permit is suspended or revoked.
- 6. The permittee shall employ best management practices, consistent with the specific terms and conditions of this permit, to control storm water runoff from the property to limit or eliminate soil erosion or sedimentation or pollution into wetland or watercourses to the extent practical. The permittee shall notify the IWWA, in the event of an unauthorized discharge of pollutants into a wetland or watercourse within two (2) business days of the event.
- 7. The permittee shall install, maintain, and repair such erosion and sedimentation control measures as may be required to limit or reduce to the extent practical soil erosion or sedimentation into wetlands and watercourses. Such measures shall be put into place prior to the commencement of work on the site and shall remain in place until such time as permanent soil stabilization is achieved.
- 8. The permittee shall not commence any work until other permits or authorizations as may be required are obtained from local, state, or federal agencies.
- 9. This permit does not convey any property rights, either in real estate or material, or any exclusive privileges, nor does it authorize any injury to property or invasion of rights or any infringement of federal, state, or local laws, ordinances, or regulations.

10. The applicant shall verify in writing to the IWWA that any necessary erosion and sedimentation control measures are in place and functional prior to the start of construction within the Upland Review Area.

Renee Deltenre,

Community Development Coordinator

Cc: File #05-20-1191

Canton Planning and Zoning Commission

#### **DRAFT MINUTES**

Regular Virtual Meeting
Canton Planning and Zoning Commission
Wednesday, September 16, 2020 at 7:00 PM
Call-In Number: +1 (571) 317-3122
Access Code: 274-622-029

CALL TO ORDER: Mr. Thiesse called the meeting to order at 7:02 PM.

PRESENT: Mr. Jonathan Thiesse, Mr. John Huyghebaert, Mr. David Evens, Alternate Mr. Michael Vogel

(seated for vacancy), and Ms. Elizabeth Vinick (seated for Mr. Phil Pane).

**ABSENT:** Mr. Phil Pane, Mr. Lans Perry, Ms. Katie Villa, and Alternate Mr. Tom Blatchley **ALSO PRESENT**: Town Planner Mr. Neil Pade and Recording Secretary Paul Dunahoo.

**READING OF THE LEGAL NOTICE:** Read by Mr. Pade.

**MOTION:** Mr. Thiesse moved to amend the agenda to include File 40; Apln 1752, 1753, 1754; 3 and 5 Cherry Brook Road; Assessor's Map 26; Parcels 1850003 and 1850005; Zone B; Design District Application (Section 5) consisting of: Zoning Regulation Amendment (Section 9.3) request to establish Section 5.9, Design District # 2, Hart's Corner Mixed-Use Zone; Zoning Map Amendment (Section 9.4), request from B to DD#2; and Detailed Site Development Plan Application (Section 9.1); request to construct a +/- 20,000 sq. ft. commercial building at 3 Cherry Brook Road and +/- 99,500 sq. ft. multi-story residential complex at 5 Cherry Brook Road; Phil Doyle, applicant; KWK Canton, LLC, owner under New Business. Mr. Vogel seconded the motion, which passed unanimously.

#### **PUBLIC HEARINGS**

1. File 475; ApIn 2000; 9 and 15 Albany Turnpike; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14- 51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; and Site Plan Application, Section 9.1.A.; request to construct a 8,384 sq. ft. gas station/convenience store with drive-thru and 20,865 sq. ft. electronic vehicle showroom with 68 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner

Postponed until the next regular meeting.

#### **REGULAR MEETING**

#### **PUBLIC HEARING ACTIONS:**

1. **File 475; ApIn 2000; 9 and 15 Albany Turnpike**; Assessor Map 32 and 36; Parcel 1010009 and 1010015; Zone: B; Special Permits: Section 4.1.C.1.a., retail/service businesses and personal service businesses greater than 2,500 square feet; Section 4.1.C.2.b., outdoor dining when accessory to restaurant classes I, II, or III; Section 4.1.C.10.a., new car dealership, as defined by CGS Section 14-51(1); Section 4.1.C.10.e., gasoline filling stations; Section 7.3.F.8.a., sign approval by special permit; Section 7.5.D.3., earthwork and grading over 2,000 cubic yards; Section 7.7.C.3., retaining wall by special permit; and Site Plan Application, Section 9.1.A.; request to construct a 8,384 sq. ft. gas station/convenience store with drive-thru and 20,865 sq. ft.

electronic vehicle showroom with 68 associated parking spaces; 9-15 Albany Turnpike, LLC, applicant/owner

Postponed until the next regular meeting.

#### **OLD BUSINESS: None**

#### **NEW BUSINESS:**

1. **File 40**; **ApIn 1752**, **1753**, **1754**; 3 and 5 Cherry Brook Road; Assessor's Map 26; Parcels 1850003 and 1850005; Zone B; Design District Application (Section 5) consisting of: Zoning Regulation Amendment (Section 9.3) request to establish Section 5.9, Design District # 2, Hart's Corner Mixed-Use Zone; Zoning Map Amendment (Section 9.4), request from B to DD#2; and Detailed Site Development Plan Application (Section 9.1); request to construct a +/- 20,000 sq. ft. commercial building at 3 Cherry Brook Road and +/- 99,500 sq. ft. multi-story residential complex at 5 Cherry Brook Road; Phil Doyle, applicant; KWK Canton, LLC, owner

Mr. Philip Doyle was present to represent the applicant. He said that they had previously received approval for special approval district. They received STC, District 4, DEEP approvals, and registered for erosion control purposed. Financing is confirmed, and the goal is to start site work this fall. Construction plans need to be submitted to Building Official before site work begins according to Condition #3 of the prior approval, but they will not ready for a couple of months. In the meantime, site development work needs to start to ensure funding. The applicant would like to modify the prior conditions of approval sand waive Condition #3.

Mr. Thiesse asked if they can revise bond to include funds for site stabilization, in case funding for site development gets pulled. Mr. Doyle said they would not object to the bond being revised to include some stabilization funds.

Ms. Vinick expressed surprise that the site drawings were not completed. She asked what the reason for the delay was. Mr. Thiesse said that the delay was not unusual. Ms. Vinick said that it has been about six months since the last meeting on the topic, and she asked for specific clarifications about the delay. Mr. Doyle said that in today's environment funding is difficult to acquire. Timing in his view is critical. The issue is that funders are nervous because of the current environment with coronavirus, and with a delay funding may be delayed. He reiterated the risk of delay. Ms. Vinick asked for further clarification as for the reason for the delay, and Mr. Doyle responded that the issue was that the financing conditional on site work beginning would be funding the site plan work.

#### MOTION:

Mr. Thiesse moved to amend conditions of the previous approval of File 40; Apln 1752, 1753, 1754; 3-5 Cherry Brook Road to delete the text of Condition #3, and to amend it to say not applicable.

**SECONDED BY:** Mr. Vogel. **VOTE:** Passed unanimously.

#### **OTHER BUSINESS:**

1. Update Regarding the Communications Facilities Sub-Committee

Mr. Pade gave an overview of the issue as described in the minutes of previous meetings. The subcommittee is reporting back to the commission that they recommend rewriting Section 8.4. Mr. Vogel said that the PZC has a limited jurisdiction. In the subcommittee's view the New Canaan regulations were a good example to follow. Ms. Vinick said there was a difference between the

police and fire department plans. Fire department planned to reuse towers. There are six months to plan. Police department does not have a proposal yet, but they requested that the new zoning. The subcommittee agreed that there is a need for their work to continue, and that further public input and participation was needed. Ms. Vinick thanked Mr. Blatchley for his work, and Mr. Vogel seconded.

#### 2. Discussion of Zoning Map Amendments Pertaining to Potential Opportunity Locations

Mr. Pade asked the Commission to consider amending the zoning map again to include the East Gateway properties to try to offset the residential single-family residential tax burden.

#### 3. Discussion on Potential Edits to the Form-Based Code

Mr. Pade updated the Commission on the progress currently made.

#### 4. Update regarding violation at 31 Powder Mill Road

Mr. Pade informed the Commission that they had outlined to the Lyons what applications they should be applying for. He also updated the Commission about what was going on with the property in relation to the Inland Wetlands and Watercourses Agency. Mr. Pade advised to wait and see how things go for the Lyons there.

Ms. Vinick said that there was some feedback about the Lyons still holding events at their property. Ms. Vinick asked what Mr. Pade's sense was of the Lyons following the rules from that point on. Mr. Pade said that the main issue was informing them of the commission's rules, and that he is working to inform them of the regulations to prevent further violations from occurring.

#### 5. Discussion on POCD Implementation

Mr. Pade said that work had not yet started on the POCD implementation. Ms. Vinick suggested that a timeline be put together for the next regular meeting.

#### 6. Discussion of Form Based Code Concept of Site/Pad/Maximum Density Partial Approvals

Mr. Pade informed the commission that Commission that they are working on providing developers with more specific examples of what can be done under the formed based code.

#### 7. Discussion of Public Improvement Standards

The Public Improvement Standards project has been on the agenda for well over a year, and Mr. Pade recommended setting a deadline.

#### 8. Review of Minutes from August 19, 2020 - The minutes were accepted as submitted.

#### 9. Staff Reports:

a. Town Planner's Report

Mr. Pade gave his report to the commission.

The Town has commissioned a digital marketing consultant company to make a tourism website. The development rights of some previous farmland were purchased to preserve scenic qualities. A gas station on Route 44 is a blighted property, and there is hope that an application will be received soon. Mr. Pade noted that working on the form-based code excites developers.

b. ZEO Report - This report was provided to the Commission electronically.

#### ADJOURNMENT:

**MOTION:** Mr. Vogel moved to adjourn at 8:39 PM. Mr. Huyghebaert seconded the motion, and the motion passed unanimously.

#### 2021 MEETING SCHEDULE CANTON PLANNING & ZONING COMMISSION

#### REGULAR MEETINGS HELD THE THIRD WEDNESDAY

Tuesday, January 19, 2021\*
Wednesday, February 17, 2021
Wednesday, March 17, 2021
Wednesday, April 21, 2021
Wednesday, May 19, 2021
Wednesday, June 16, 2021

Wednesday, July 21, 2021 Wednesday, August 18, 2021 Wednesday, September 15, 2021 Wednesday, October 20, 2021 Wednesday, November 17, 2021 Wednesday, December 15, 2021

Special meetings to be convened as necessary; the January meeting will be held on the Third Tuesday due to the annual Town Meeting on Wednesday, January 20, 2021.

Regularly scheduled meetings of the Planning and Zoning Commission are held at 7:00 p.m. at the Community Center at 40 Dyer Avenue, Canton, CT unless otherwise noted. The following are current members of the Planning and Zoning Commission:

David Evens (Regular)
John Huyghebaert (Regular)
Philip Pane (Regular)
Lansford W. Perry (Regular)
Jonathan Thiesse (Regular)
Katie Villa (Regular)
Michael Vogel (Alternate)
Elizabeth Vinick (Alternate)
Thomas Blatchley (Alternate)